



**AGENDA
REGULAR MEETING
SAN BENITO COUNTY AIRPORT LAND USE COMMISSION**

DATE: Thursday, January 20, 2022
4:00 P.M.

LOCATION: Via- Zoom

Attendance at the ALUC meeting is closed to the public per Executive Order N-29-30 and Assembly Bill 361 (AB 361). The public may join meeting by Zoom: <https://zoom.us/join> per the instructions provided at the end of the agenda:

Meeting ID: 834-0589-4856

COMMISSIONERS: Chair Ignacio Velazquez, Vice Chair Kollin Kosmicki
Mary Vazquez Edge, Rolan Resendiz, and Peter Hernandez
Alternates: San Benito County: Betsy Dirks;
City of San Juan Bautista: Scott Freels; City of Hollister: Rick Perez

*Persons who wish to address the Board of Directors must complete a Speaker Card and give it to the Clerk prior to addressing the Board. Those who wish to address the Board on an agenda item will be heard when the Chairperson calls for comments from the audience. Following recognition, persons desiring to speak are requested to advance to the podium and state their name and address. After hearing audience comments, the Public Comment portion of the agenda item will be closed. **The opportunity to address the Board of Director's on items of interest not appearing on the agenda will be provided during Section C. Public Comment.***

4:00 P.M. CALL TO ORDER:

- A. **ACKNOWLEDGE** Certificate of Posting
- B. **NOTICE OF TEMPORARY PROCEDURES FOR AIRPORT LAND USE COMMISSION MEETINGS**
(Please see Zoom instructions at the end of the agenda)

Pursuant to California Governor Gavin Newsom's Executive Order N-29-20 issued on March 17, 2020, and Assembly Bill 361 (AB 361), relating to the convening of public meetings in response to the COVID-19 pandemic, attendance at the ALUC meeting is closed to the public. Additionally, members of the Airport Land Use Commission can attend the meeting via teleconference and to participate in the meeting to the same extent as if they were present.

- C. **PUBLIC COMMENT:** (Opportunity to address the Board on items of interest not appearing on the agenda. No action may be taken unless provided by Govt. Code Sec. 54954.2. **Speakers are limited to 3 minutes.**)

CONSENT AGENDA:

(These matters shall be considered as a whole and without discussion unless a particular item is removed from the Consent Agenda. Members of the public who wish to speak on a Consent Agenda item must submit a Speaker Card to the Clerk and wait for recognition from the Chairperson. Approval of a consent item means approval as recommended on the Staff Report.)

1. **ADOPT** Resolution 22-02 Authorizing Teleconferencing Options for the Airport Land Use Commission Meetings for the Period of January 23, 2022, through February 21, 2022 – Rivera
2. **FIND** Project Associated with Assessor Parcel No. APN 014-140-016 located at 2100 Rosa Drive in the City of Hollister, **CONSISTENT** with the Hollister Municipal Airport Land Use Compatibility Plan with One Condition - Lezama

Adjourn to ALUC Meeting on Thursday, February 17, 2022. Agenda Deadline is Tuesday, February 1, 2022 at 12:00 P.M

In compliance with the Americans with Disabilities Act (ADA), if requested, the Agenda can be made available in appropriate alternative formats to persons with a disability. If an individual wishes to request an alternative agenda format, please contact the Clerk of the Council four (4) days prior to the meeting at (831) 637-7665. The Council of Governments Board of Directors meeting facility is accessible to persons with disabilities. If you need special assistance to participate in this meeting, please contact the Clerk of the Council's office at (831) 637-7665 at least 48 hours before the meeting to enable the Council of Governments to make reasonable arrangements to ensure accessibility.

ZOOM INSTRUCTIONS:

Members of the public are encouraged to participate in Board meetings in the following ways:

1. Remote Viewing

Members of the public who wish to watch the meeting can view the meeting online through Zoom. Instructions for participating via Zoom are included below.

2. Written Comments & Email Public Comment

Members of the public may submit comments via email by 5:00 PM. on the Wednesday prior to the Board meeting to the Clerk of the Board at monica@sanbenitocog.org. Regardless of whether the matter is on the agenda. Every effort will be made to provide Board Members with your comments before the agenda item is heard.

3. Airport Land Use Commission meeting - Zoom Instructions for remote Participants:

Each meeting will have a meeting ID, which is a unique number associated with an instant or scheduled meeting. Three ways to attend zoom meetings:

1. Over the phone (Audio only):

- (669) 900-6833 or (408) 638-0968.

2. Open the Web-browser:

- <https://zoom.us/join>

3. Smart device Application:

- Apple App store: <https://apps.apple.com/us/app/id546505307>

- Android App store: <https://play.google.com/store/apps/details?id=u.s.zoom.videomeetings>

Zoom Audio Only (phone)

If you are **calling in as audio-only**, please dial **(669) 900-6833 or (408) 638-0968**.

1. It will ask you to enter the **Meeting ID 834-0589-4856**, followed by the **"#"** key, which can be found at the top page of the agenda. The meeting agenda can be found at: http://www.sanbenitocog.org/wp-content/uploads/2022/01/ALUC_Packet_012022.pdf
2. It will then ask for a **Participant ID**, press the **"#"** key to continue.
3. Once you enter the zoom meeting, you will automatically be placed on mute.
4. **Public Comment:** If you are using a phone, please press the **"*9"** to raise your hand, zoom facilitator will unmute you when your turn arrives.

Zoom on Web-browser or Zoom app on Tablet or Smartphone

If joining through web-browser launch: <https://zoom.us/join> or launch the Zoom app on your Tablet or Smartphone

1. Select **"JOIN A MEETING"**
2. The participant will be prompted to enter **Meeting ID, 834-0589-4856** and name to join the meeting, which can be found at the top page of the agenda. The meeting agenda can be found at: http://www.sanbenitocog.org/wp-content/uploads/2022/01/ALUC_Packet_012022.pdf
3. You can launch audio through your computer or set it up through the phone. Follow instructions provided by Zoom.
4. **Public Comment:** Click **"Raise hand"** icon, the zoom facilitator will unmute you when your turn arrives.

Public Comment Guidelines

- If participating on zoom Once you are selected, you will hear that you have been unmuted: State your first name, last name, and county you reside in for the record.
- The Local Transportation Authority welcomes your comments.
- Each individual speaker will be limited to a presentation total of three (3) minutes.
- Please keep your comments, brief, to the point, and do not repeat prior testimony, so that as many people as possible can be heard. Your cooperation is appreciated.

CERTIFICATE OF POSTING

Pursuant to Government Code Section #54954.2(a) the Meeting Agenda for the Airport Land Use Commission on **January 20, 2022** at **4:00 P.M.** was posted at the following locations freely accessible to the public:

The front entrance of the Old San Benito County Courthouse, Monterey Street, Hollister, CA 95023, and the Council of Governments Office, 330 Tres Pinos Rd., Ste. C7, Hollister, CA 95023 at the following date and time:

On the **14th day of January 2022**, on or before **5:00 P.M.**

The meeting agenda was also posted on the Council of San Benito County Governments website, www.sanbenitocog.org, under Meetings, ALUC, Meeting Schedule

I, Monica Gomez, swear under penalty of perjury that the foregoing is true and correct.

BY:  _____
Monica Gomez, Secretary II
Council of San Benito County Governments



Staff Report

To: Airport Land Use Commission
From: Norma Rivera, Administrative Services Specialist Telephone: (831) 637-7665
Date: January 20, 2022
Subject: Assembly Bill 361 Teleconferencing Options For ALUC

Recommendation:

ADOPT Resolution 22-02 Authorizing Teleconferencing Options for the Airport Land Use Commission meetings for the Period of January 23, 2022, through February 21, 2022.

Summary:

On September 16, 2021, the Governor signed Assembly Bill (AB) 361, a bill that codifies certain teleconference procedures that local agencies have adopted in response to the Governor's Brown Act-related Executive Orders. Specifically, AB 361 allows a local agency to continue to use teleconferencing under the same basic rules as provided in the Executive Orders under certain prescribed circumstances or when certain findings have been made and adopted by the local agency legislative body.

Financial Considerations:

None.

Discussion:

On June 11, 2021, Governor Newsom issued Executive Order N-08-21, amending his prior Executive Order N-29-20 and waiving certain provisions of the Brown Act relating to teleconferences/remote meetings by local agency legislative bodies. The Executive Order waived, among other things, the provisions of the Brown Act that otherwise required the physical presence of members of local agency legislative bodies or other personnel in a particular location as a condition of participation or as a quorum for a public meeting. These modifications remained in effect through September 30, 2021.

Under Assembly Bill (AB) 361, when the state of emergency lasts longer than 30 days, as is the case presently, the legislative body must make findings every 30 days to continue using the bill's exemption to the Brown Act teleconferencing rules. AB 361 mandates that the legislative body must find that there is a continuing need for teleconferencing due to dangers posed by the ongoing state of emergency. This means that local agencies will have to put an item on the public meeting agenda at least every thirty days to make findings regarding the circumstances of the emergency and to vote to continue relying upon the law's teleconference provisions.

To continue to meet under those modified rules after February 21,2022 the Board will again need to reconsider the circumstances of the state of emergency and again make one of the additional findings required by AB 361.

Reducing the circumstances under which people come into close contact remains a vital component of the San Benito County and ALUC’s COVID-19 response strategy. Local agency public meetings are an essential government function and the last 18 months have proven that the teleconferencing format protects public access while minimizing exposure to COVID-19.

The California Department of Public Health (CDPH) and the federal Centers for Disease Control and Prevention (CDC) caution that the Omicron variant of COVID-19 is spreading quickly throughout the country, is more transmissible than prior variants of the virus, may cause more severe illness, and that even fully vaccinated individuals can spread the virus to others resulting in rapid and alarming rates of COVID-19 cases and hospitalizations (<https://www.cdc.gov/coronavirus/2019-ncov/variants/omicron-variant.html>).

According to the numbers posted on the San Benito County website, as of January 3, 2022, there have been almost 800 new cases since the December 16, 2021, meeting.

Staff Analysis:

Staff recommends that the Board adopt findings that conducting in-person meetings at the present time would present an imminent risk to the health and safety of attendees. A resolution to that effect and directing staff to return each 30 days to afford the Board the opportunity to reconsider such findings, is included herewith. If the Board adopts the proposed resolution, then it may continue to meet under the modified Brown Act teleconference rules of AB 361 through February 21, 2022.

Counsel Review: Yes

- Supporting Attachment(s):
1. Resolution 22-02
 2. Letter from San Benito County Health Officer



BEFORE THE SAN BENITO COUNTY AIRPORT LAND USE COMMISSION

A RESOLUTION OF THE SAN BENITO COUNTY AIRPORT)
LAND USE COMMISSION (ALUC) AUTHORIZING) Resolution 22-02
CONTINUED REMOTE TELECONFERENCE MEETINGS)
OF THE SAN BENITO COUNTY AIRPORT LAND USE)
COMMISSION PURSUANT TO AB 361)

WHEREAS, the San Benito County Airport Land Use Commission is committed to preserving and nurturing public access and participation in meetings of the Board of Directors; and

WHEREAS, the Brown Act, Government Code section 54953(e), makes provisions for remote teleconferencing participation in meetings by members of a legislative body, without compliance with the requirements of Government Code section 54953(b)(3), subject to the existence of certain conditions; and

WHEREAS, on March 4, 2020, Governor Gavin Newsom issued a Proclamation of State of Emergency in response to the COVID-19 pandemic, pursuant to his authority under the California Emergency Services Act, California Government Code section 8625; and

WHEREAS, on March 17, 2020, Governor Newsom issued Executive Order N-29-20 that suspended the teleconferencing rules set forth in the California Open Meeting Law, Government Code section 54950 et seq. (the “Brown Act”), provided certain requirements were met and followed; and

WHEREAS, on June 4, 2021, Governor Newsom clarified that the “reopening” of California on June 15, 2021 did not include any change to the proclaimed state of emergency or the powers exercised thereunder; and

WHEREAS, on June 11, 2021, Governor Newsom issued Executive Order N-08-21, clarifying the suspension of the teleconferencing rules set forth in the Brown Act, and further provided that those provisions would remain suspended through September 30, 2021; and

WHEREAS, on September 16, 2021, Governor Newsom signed Assembly Bill 361 (AB 361), which provides that a legislative body subject to the Brown Act may continue to meet without fully complying with the teleconferencing rules in the Brown Act, provided the legislative body determines that meeting in person would present imminent risks to the health or safety of attendees, and further requires that certain findings be made by the legislative body every thirty (30) days; and

WHEREAS, California Department of Public Health (“CDPH”) and the federal Centers for Disease Control and Prevention (“CDC”) caution that the Omicron variant of COVID-19 is spreading quickly throughout the country, is more transmissible than prior variants of the virus, may cause more severe illness, and that even fully vaccinated individuals can spread the virus to others resulting in rapid and alarming rates of COVID-19 cases and hospitalizations (<https://www.cdc.gov/coronavirus/2019-ncov/variants/omicron-variant.html>); and

WHEREAS, on September 30, 2021, Dr. Ghilarducci, Interim San Benito County Public Health Officer, issued a recommendation on Social Distancing at public meetings of legislative bodies within San Benito County; and

WHEREAS, on January 5, 2022, Dr. Gellert, San Benito County Public Health Officer, issued an updated recommendation on continued Social Distancing at public meetings of legislative bodies within San Benito County, attached hereto as Exhibit “A”, and incorporated herein by this reference; and

WHEREAS, the San Benito County Airport Land Use Commission is a joint powers authority formed under the joint exercise of powers provisions of California Government Code Sections 6500-6522 and the California Code of Civil Procedure section 1240.140, among the County of San Benito, a political subdivision of the State of California, and the Cities of Hollister and San Juan Bautista, municipal corporations located in San Benito County; and

WHEREAS, the San Benito County Board of Supervisors is empowered by Article XI, section 7 of the California Constitution to take actions necessary to protect public, health, welfare, and safety within the County of San Benito; and

WHEREAS, at its regular meetings on October 12, 2021, November 9, 2021, November 23, 2021, and December 14, 2021, the San Benito County Board of Supervisors considered all information related to this matter, as presented at the public meetings of the Board of Supervisors identified herein, including any supporting reports by County Staff, and any information provided during public meetings, including but not limited to the current circumstances related to the state of emergency, and adopted Resolution Nos. 2021-128, 2021-140, 2021-148, and 2021-160, making the findings and determinations required by AB 361; and

WHEREAS, the San Benito County Airport Land Use Commission has an important governmental interest in protecting the health, safety, and welfare of those who participate in meetings of the Airport Land Use Commission; and

WHEREAS, in the interest of public health and safety, as affected by the emergency caused by the spread of COVID-19, the San Benito County Airport Land Use Commission deems it necessary to find that a requirement to meet in person for meetings of the Airport Land Use Commission would present imminent risks to the health or safety of attendees, and thus, intends to invoke the provisions of AB 361 related to teleconferencing; and

WHEREAS, at its regular meetings on October 21, 2021, November 18, 2021, and December 16, 2021, and its special meeting on January 11, 2022, the San Benito County Airport

Land Use Commission considered all information related to this matter, as presented at the public meetings of the Board of Directors identified herein, including any supporting reports by Airport Land Use Commission Staff, and any information provided during public meetings, including but not limited to the current circumstances related to the state of emergency, and adopted Resolution Nos. 2021-01, 2021-02, 2021-03, and 2022-01, making the findings and determinations required by AB 361; and

WHEREAS, the San Benito County Airport Land Use Commission has further considered all information related to this matter, as presented at the public meetings of the Board of Directors identified herein as of the date of this Resolution, including any supporting reports by Airport Land Use Commission's Staff, and any information provided during public meetings, including but not limited to the current circumstances related to the state of emergency, which continues to remain in effect; and

WHEREAS, as of the date of this Resolution, neither the Governor nor the California Legislature have exercised their respective powers, pursuant to California Government Code section 8629, to lift the state of emergency either by proclamation or by concurrent resolution in the state Legislature, and the proclaimed state of emergency remains in effect; and

WHEREAS, the continued local rates of transmission of the virus and variants causing COVID-19 are such that meeting in person would present imminent risks to the health or safety of attendees of public meetings; and

WHEREAS, the Board of Directors of the San Benito County Airport Land Use Commission further finds that the state of emergency continues to directly impact the ability of the members to meet safely in person.

NOW, THEREFORE, BE IT RESOLVED by the Board of Directors of the San Benito County Airport Land Use Commission as follows:

1. Recitals. The Board of Directors hereby finds that the facts set forth in the Recitals to this Resolution are true and correct and are incorporated into this Resolution by this reference.
2. Proclamation of Local Emergency. The Board of Directors hereby proclaims that a local emergency continues to exist throughout the County, and social distancing orders are currently in place and needed to protect the health and safety of the citizens.
3. Consideration of Future Extensions of Resolution. As long as the State Emergency remains in effect or until directed otherwise by the Board of Directors, staff shall present to the Board at every meeting an item necessary to continue the findings required by AB 361.
4. Effective Date of Resolution. This Resolution shall take effect immediately upon its adoption and shall be effective until the earlier of thirty (30) days from adoption of the Resolution or such time the Board of Directors adopts a subsequent Resolution in accordance with Government Code section 54953(e)(3) to extend the time during which the

Airport Land Use Commission may continue to teleconference without compliance with paragraph (3) of subdivision (b) of section 54953.

5. Remote Teleconference Meetings. The staff and Counsel for the Airport Land Use Commission are hereby authorized and directed to take all actions necessary to carry out the intent and purpose of this Resolution including, conducting open and public meetings in accordance with Government Code section 54953(e) and other applicable provisions of the Brown Act.

PASSED AND ADOPTED BY THE SAN BENITO COUNTY AIRPORT LAND USE COMMISSION ON THIS 20TH DAY OF JANUARY 2022, BY THE FOLLOWING VOTE:

AYES:

NOES:

ABSENT:

ABSTAIN:

Ignacio Velazquez, Chair

APPROVED AS TO LEGAL FORM:
SAN BENITO COUNTY COUNSEL'S OFFICE

Dated: Jan. 11, 2022

By: Shirley L. Murphy
Shirley L. Murphy, Deputy County Counsel

ATTEST:
Mary Gilbert, Executive Director

Dated: _____

By: _____

EXHIBIT A

GEORGE GELLERT MD, MP, MPA
HEALTH OFFICER

TRACEY BELTON
AGENCY DIRECTOR



SAN BENITO COUNTY

HEALTH & HUMAN SERVICES AGENCY

PUBLIC HEALTH SERVICES

Healthy People in Healthy Communities

January 5, 2022

CAO Ray Espinosa
San Benito County Administration

Re: Recommendation on Social Distancing and Hybrid Meetings

Given the considerable impact on our community from the COVID-19 virus and the Delta and more recently the Omicron variant, I strongly urge all legislative bodies, including but not limited to the County, cities, and special districts, local commissions and committees, and subsidiary bodies, continue social distancing measures for public meetings, including offering, at the legislative body's discretion, a remote or hybrid format for public meetings. Social distancing and masking remain crucial strategies in our fight to prevent contagion. The conduct of public meetings in a remote or hybrid manner enables members of the community to participate from the comfort of their homes without having to risk contracting these viruses by attending in-person meetings.

In addition, these measures help contain the spread of the disease and protect the community. All events public gatherings, including public meetings, create environments where these virus variants can potentially spread among attendees and participants. However, when combined with social distancing and effective masking practices, along with continued efforts to increase vaccination uptake within San Benito County, a remote or hybrid format for meetings maximizes avenues for public access and input and minimizes the risk of infection for the public, agency staff, meeting presenters, and legislative body members as well.

If you have any questions regarding this recommendation, please do not hesitate to contact me.

A handwritten signature in black ink that reads "George Gellert" with a stylized flourish at the end.

George Gellert MD, MPH, MPA
Health Officer

PUBLIC HEALTH SERVICES
351 Tres Pinos Road, Suite A-202
Hollister CA 95023
831-637-5367

ENVIRONMENTAL HEALTH
351 Tres Pinos Road, Suite C-1
Hollister CA 95023
831-636-4035

MEDICAL THERAPY UNIT
761 South Street
Hollister CA 95023
831-637-1989



Staff Report

To: Airport Land Use Commission
From: Veronica Lezama, Transportation Planner Telephone: (831) 637-7665
Date: January 20, 2022
Subject: Land Use Consistency Determination

Recommendation:

FIND Project Associated with Assessor Parcel No. APN 014-140-016 located at 2100 Rosa Drive in the City of Hollister, **CONSISTENT** with the Hollister Municipal Airport Land Use Compatibility Plan with One Condition.

Summary:

The ALUC application associated with assessor parcel number 017-060-041-000 was reviewed in accordance with the adopted 2012 Hollister Municipal Airport Land Use Compatibility Plan.

Financial Considerations:

The Airport Land Use Commission (ALUC) has an adopted application fee structure. The fee consists of a minimum \$300 non-refundable payment that is submitted at the time the application is provided to ALUC.

Background:

Land use actions proposed within the Hollister Municipal Airport Influence Area and are subject to ALUC review to determine consistency with the Hollister Municipal Airport Land Use Compatibility Plan. The purpose of the Compatibility Plan is to protect public health, safety, and welfare by ensuring the orderly expansion of airports and the adoption of land use measures that minimize the public's exposure to excessive noise and safety hazards.

Staff Analysis:

ALUC staff received an application for a Consistency Determination with the adopted 2012 Hollister Municipal Airport Land Use Compatibility Plan.

Project Description:

The applicant is proposing a guest house residential building at 2100 Santa Rosa Drive in the City of Hollister (Attachment 1). The guest house measures 575 square feet (Attachment 2).

In the course of a project review, the Airport Land Use Commission considers a number of Compatibility Plan policies including Noise, Safety, Airspace Protection, and Overflight. An analysis of each of the four compatibility factors is discussed below.

Noise Policy 3.2.

The Noise Policy objective is to avoid establishment of noise-sensitive land uses in the portions of airport environs that are exposed to significant levels of aircraft noise. The magnitude noise impacts are depicted by four contours, which show the greatest annualized noise impacts anticipated to be generated by the airport over the next 20 years.

The parcel where the project is proposed is located outside of the Noise Contours (Attachment 3). As such, the project is consistent with the Hollister Municipal Airport Land Use Compatibility Plan's Noise Policy.

Safety Policy 3.3.

The Safety Policy objective is to minimize the risks associated with an off-airport aircraft accident or emergency landing. The policy focuses on reducing the potential consequences of such events by limiting sensitive land uses (i.e., residential) and intensities of non-residential uses (i.e., commercial, industrial, etc.). This policy is defined in terms of the geographic distribution of where accidents are most likely to occur based on the six safety zones.

The parcel where the project is proposed is located within Safety Zone 6 (Attachment 4). According to the Safety Compatibility Criteria (Attachment 5), the proposed residential use is Conditionally Compatible. Nothing in these policies prohibits Construction of a secondary unit as defined by state law. As such, the project is consistent with the Compatibility Plan's Safety Policy.

Airspace Protection Policy 3.4.

The Airspace Protection Policy seeks to prevent creation of land use features that can be hazards to the airspace required by aircraft in flight and have the potential for causing an aircraft accident to occur. In evaluating the airspace protection compatibility of any proposed development, the following four categories of hazards to airspace shall be considered.

1. The height of structures and other objects situated near the airport are a primary determinant of physical hazards to the airport airspace.
2. Land use features that have the potential to attract birds and certain other wildlife to the airport area are also to be evaluated as a form of physical hazards, per FAA Advisory Circular 150/5200-33B, Hazardous Wildlife Attractants on or Near Airports.
3. Visual hazards of concern include certain types of lights, sources of glare, and sources of dust, steam, or smoke.
4. Electronic hazards are ones that may cause interference with aircraft communications or navigation.

The applicant is proposing a structure which is consistent with the Compatibility Plan's Airspace Policy.

Overflight Policy 3.5.

The Overflight Compatibility Policy is intended to help notify people, through real estate disclosures, about the presence of aircraft overflight near airports so that they can make informed decisions regarding acquisition or lease of property in the affected areas. Overflight policies do not apply to non-residential development.

The project is proposed within the Airport Influence Area, which requires a Real Estate Transaction Disclosure (Attachment 6) as a condition of consistency.

Executive Director: *mg*

Counsel Review: N/A

Supporting Attachment(s):

1. Project Location Map
2. Project Site Plan
3. Noise Contour Map
4. Safety Zones Map
5. Safety Table
6. FAR Part 77 Surfaces



County of San Benito



Legend

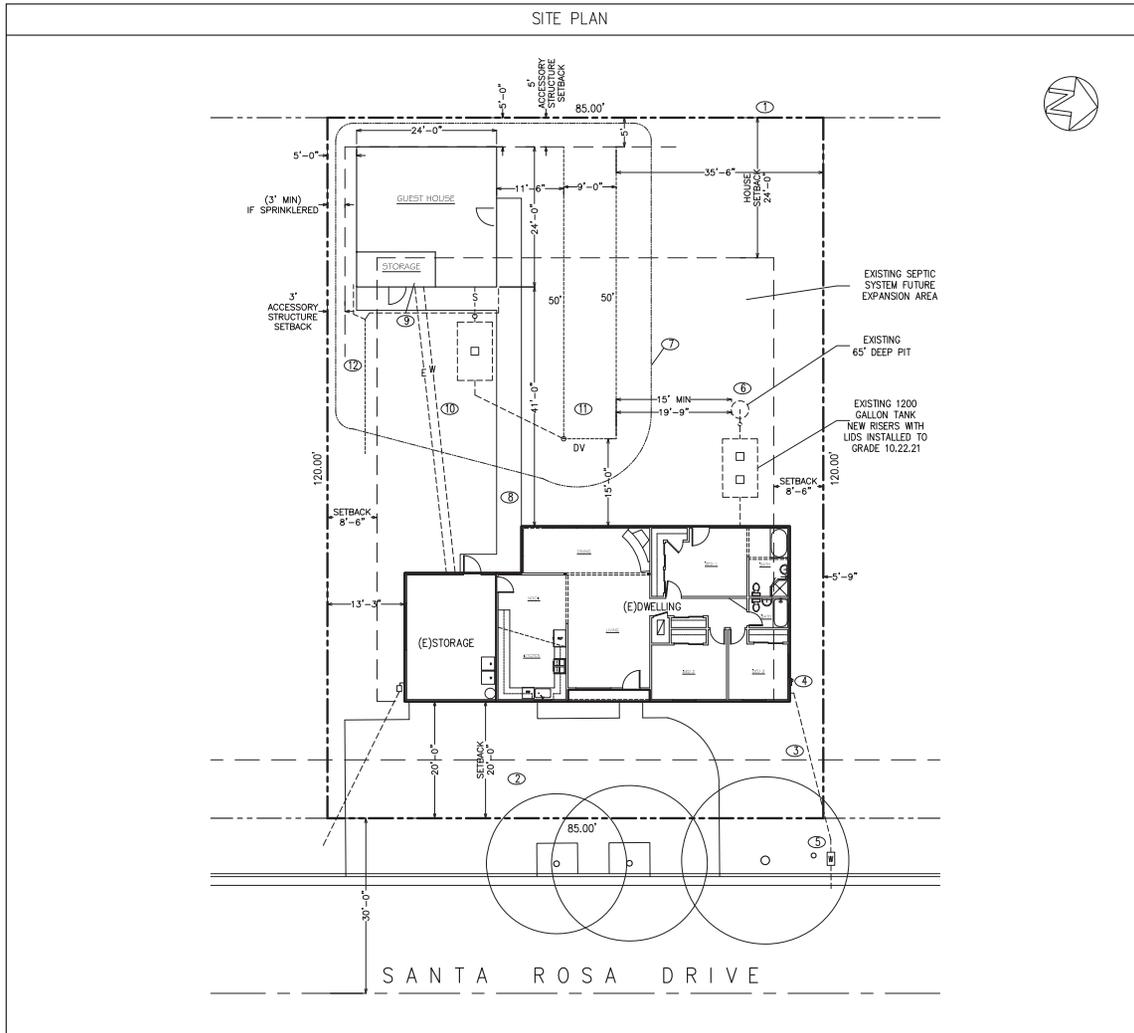
- Parcels
- California County Boundaries
- <all other values>
- San Benito
- City Limit
- Tentative Subdivision
- SBC Approved Subdivisions
- Hollister Airport Runways
- Tentative Streets
- Park

Notes

1,504.7 0 752.33 1,504.7 Feet

WGS_1984_Web_Mercator_Auxiliary_Sphere
©County of San Benito, GIS Services

This map is a user generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.



ADDITIONAL CLEARANCES

NONE

GREEN BUILDING REQUIREMENTS

1. MINIMUM 65% (BY WEIGHT) OF ALL CONSTRUCTION AND DEMOLITION WASTE TO RECYCLING FACILITY OR REUSE.
2. ALL INTERIOR WALL & CEILING PAINT SHALL BE LOW-VOC OR ZERO-VOC.
3. ALL COATINGS SHALL BE LOW-VOC AND MEET SCAQMD RULE 1113
4. ALL CAULKS, CONSTRUCTION ADHESIVES & SEALANTS SHALL BE LOW-VOC.

KEY NOTES

- 1 (E) PROPERTY LINE
- 2 (E) CONCRETE DRIVEWAY, OR WALKWAY
- 3 (E) ELECTRICAL SERVICE- VERIFY LOCATION
- 4 (E) ELECTRICAL METER & MAIN PANEL & SERVICE EXTENSION.
- 5 (E) WATER METER AND (E) SERVICE EXTENSION
- 6 (E) SEPTIC SYSTEM- VERIFIED BY CERTIFIED INSTALLER
- 7 INSTALL STRAW WADDOLE TO KEEP SILT/DRAINAGE ON SITE
- 8 (N) CONCRETE WALKWAY
- 9 (N) ELECTRICAL SUB PANEL
- 10 (N) WATER SERVICE EXTENSION
- 11 (N) SEPTIC SYSTEM- SEE SHEET E-1
- 12 (N) TRENCH DRAIN FROM GUTTERS/DOWNSPOUTS PER SHEET A-1

ABBREVIATIONS

&	AND	FTG	FOOTING
@	AT	GA	GAUGE
CL	CENTERLINE	GALV	GALVANIZED
#	NUMBER/POUND	GYP	GYPHUM BOARD
PL	PROPERTY LINE	HB	HOSE BIB
(E)	EXISTING	HDR	HEADER
(N)	NEW	HORIZ	HORIZONTAL
(R)	RELOCATED	INSUL	INSULATION
		INT	INTERIOR
		LAV	LAVATORY
		MAX	MAXIMUM
ALUM	ALUMINUM	MECH	MECHANICAL
APPROX	APPROXIMATELY	MIN	MINIMUM
ARCH	ARCHITECTURAL	MISC	MISCELLANEOUS
ASPH	ASPHALT	N	NORTH
BC	BOTTOM CURB	NOM	NOMINAL
BLDG	BUILDING	NTS	NOT TO SCALE
BLK	BLOCK	OC	ON CENTER
BM	BEAM	PR	PAIR
CLG	CEILING	RAD	RADIUS
CLO	CLOSET	REFR	REFRIGERATOR
CLR	CLEAR	RENF	REINFORCED
C.O.	CASED OPENING	REQ'D	REQUIRED
CONC	CONCRETE	RM	ROOM
CONN	CONNECTION	RWD	REDWOOD
CONST	CONSTRUCTION	S	SOUTH
CONT	CONTINUOUS	SHT	SHEET
DBL	DOUBLE	SPEC	SPECIFICATION
DF	DOUGLAS FIR	SQ	SQUARE
DIA	DIAMETER	SS	STAINLESS STEEL
DM	DIMENSION	STD	STANDARD
DN	DOWN	TC	TOP OF CURB
DWG	DRAWING	TP	TELEPHONE POLE
E	EAST	T&G	TOUNSE AND GROOVE
EA	EACH	TYP	TYPICAL
ELEC	ELECTRICAL	UN	UNLESS OTHERWISE NOTED
EXT	EXTERIOR	VERT	VERTICAL
FD	FLOOR DRAIN	W	WEST
FF	FINISH FLOOR	WITH	WITH
FLR	FLOOR		
FLOUR	FLOURESCENT		



SHEET INDEX

A-0 PLOT PLAN
 A-1 ARCHITECTURAL SHEET
 E-1 UTILITIES PLAN
 S-1 STRUCTURAL PLANS
 G-1 GREEN BUILDING CHECKLIST

CONTACT INFORMATION

OWNER: DEBRA DONES
 6248 MERIDIAN STREET
 SAN JOSE, CA 95120
 408-921-2618
 wa2brm@arrl.net

CONTRACTOR: TBD

DESIGNER: SYMMETRY DESIGN + BUILD, INC.
 CONTACT: JASON GUERRA
 831-750-5252
 jason@symmetrydb.com

SEPTIC SYSTEM: BRYAN'S TRACTOR SERVICE
 831-902-7015
 BriansTractorService@gmail.com

PROJECT DATA

OCCUPANCY CLASSIFICATION:
 GUEST HOUSE: U
 GARAGE: U

FIRE SPRINKLERS: NO
FLOOD ZONE: NO
TYPE OF CONSTRUCTION: V-B
ZONING: R-1

LOT: 10200 SF
 EXISTING DWELLING: 1447 SF
 EXISTING STORAGE: 345 SF
 EXISTING PORCHES: 389 SF

GUEST HOUSE INTERIOR: 495 SF
 STORAGE: 81 SF

TOTAL: 576 SF

PROPOSED COVERAGE: 2757 SF (27.0%)

DESIGN CRITERIA

FLOOR LIVE LOAD: 40.0 PSF
 ROOF LIVE LOAD: 20.0 PSF
 GROUND SNOW & ICE: NONE
 BASIC WIND: 110-SSC-C
 EXPOSURE CATEGORY: C
 SEISMIC DESIGN CATEGORY: D
 SOIL SITE CLASS: D
 IMPORTANCE FACTOR: 1
 ALLOWABLE BEARING CAPACITY: 1,000 PSF

CODE COMPLIANCE

ALL CONSTRUCTION SHALL CONFORM TO ALL GOVERNING LAWS, CODES AND ORDINANCES INCLUDING BUT NOT LIMITED TO THE FOLLOWING:

1. 2019 CALIFORNIA BUILDING CODE
2. 2019 CALIFORNIA ELECTRICAL CODE
3. 2019 CALIFORNIA MECHANICAL CODE
4. 2019 CALIFORNIA PLUMBING CODE
5. 2019 CALIFORNIA FIRE CODE
6. 2019 CALIFORNIA ENERGY CODE
7. 2019 CALIFORNIA GREEN CODE
8. 2019 RESIDENTIAL CODE

SCOPE OF WORK

NEW DETACHED RESIDENTIAL 495 SF GUEST HOUSE (NOT CONDITIONED SPACE) WITH 81 SF STORAGE ROOM

GUEST HOUSE

2100 Santa Rosa Dr.
 Hollister, Ca

FOR:
 DEBRA DONES

SYMMETRY
 DESIGN + BUILD, INC.

330 TRES PINOS ROAD SUITE F8-7
 HOLLISTER, CA, 95023
 831.750.5252
 www.symmetrydb.com

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CONSULTANT:

CONSULTANT:

DRAWN BY: J.M.G.
CHECKED BY: J.M.G.

A.P.N.: 014-140-016

GENERAL NOTES

1. THE CONTRACT DOCUMENTS INCLUDE THESE DRAWINGS AND THE SPECIFICATIONS. VERIFY ALL DIMENSIONS AND CONDITIONS IN FIELD TO CONFIRM THAT WORK IS BUILDABLE AS SHOWN. ANY CONFLICTS OR OMISSIONS, ETC., SHALL BE IMMEDIATELY REPORTED TO THE DESIGNER FOR CLARIFICATION PRIOR TO THE PERFORMANCE OF ANY WORK IN QUESTION.
2. DO NOT SCALE DRAWINGS.
3. WRITTEN DIMENSIONS GOVERN ALL PARTITION LOCATIONS. ALL DOOR AND OPENING LOCATIONS SHALL BE SHOWN ON FLOOR PLAN. IN CASE OF CONFLICT, NOTIFY THE DESIGNER. FLOOR PLAN BY DESIGNER SUPERCEDES OTHER PLANS. ALL DIMENSIONS MARKED "CLEAR" SHALL BE MAINTAINED AND SHALL ALLOW FOR THICKNESS OF ALL FINISHES.
4. THESE DRAWINGS ARE THE EXCLUSIVE PROPERTY OF THE DESIGNER AND MUST NOT BE REPRODUCED, ALTERED OR AMENDED WITHOUT PERMISSION.
5. CHANGES FROM THE APPROVED PLANS DURING CONSTRUCTION OTHER THAN 1.) CABINET CHANGES WHEN NOT BEING SUPPORTED ENTIRELY BY THE ROOF STRUCTURE, 2.) INTERIOR DOOR AND FIREPLACE RELOCATION SHOWN ON THE APPROVED PLAN, 3.) A SINGLE NON-BEARING WALL RELOCATION WHEN NOT CREATING AN ADDITIONAL ROOM, AND 4.) INTERIOR NON-STRUCTURAL WALL FINISHES; SHALL CAUSE PLAN APPROVAL AND CONSTRUCTION TO BE SUSPENDED. A NEW PLAN CHECK (FOR A NEW PLAN) SHOWING CHANGES WILL BE SUBMITTED FOR REVIEW AND APPROVAL THROUGH THE NORMAL PLAN CHECK PROCESS.
6. LOTS SHALL BE GRADED TO DRAIN SURFACE WATER AWAY FROM FOUNDATION WALLS. THE GRADE SHALL FALL A MINIMUM OF 6 INCHES WITHIN THE FIRST 10 FEET. [R401.3] IMPERVIOUS SURFACES WITHIN 10 FEET OF THE BUILDING FOUNDATION SHALL BE SLOPED NOT LESS THAN 2 PERCENT AWAY FROM THE BUILDING. [R401.3, EXCEPTION] --PROJECTIONS REQUIRED TO BE FIRE RESISTANCE RATED (WITHIN 5' OF THE PROPERTY LINE WITHOUT SPRINKLERS, OR WITHIN 3' WITH SPRINKLERS) MAY BE REDUCED TO 0 HOURS AT AN EAVE OVERHANG IF FIRE-BLOCKING IS PROVIDED FROM THE WALL TOP PLATE TO THE UNDERSIDE OF THE SHEATHING, OR AT THE UNDERSIDE OF A RAKE OVERHANG WHERE CABLE VENT OPENINGS ARE NOT INSTALLED. [R301.1(2), FOOTNOTES B AND C]

STORM WATER MANAGEMENT

IN ORDER TO MANAGE STORM WATER DRAINAGE DURING CONSTRUCTION, THE FOLLOWING MEASURE SHALL BE IMPLEMENTED TO PREVENT FLOODING OF ADJACENT PROPERTY, PREVENT EROSION AND RETAIN SOIL RUNOFF ON THE SITE.

1. WHERE STORM WATER IS CONVEYED TO A PUBLIC DRAINAGE SYSTEM, COLLECTION POINT, GUTTER, OR SIMILAR DISPOSAL METHOD, WATER SHALL BE FILTERED BY USE OF A BARRIER SYSTEM, STRAW WATTLES OR OTHER APPROVED METHOD.

LEGEND

---	PROPERTY LINE
→	(E) DIRECTION OF DRAINAGE
---	(N) BUILDING FOOTPRINT (ADDITION)
---	(E) EDGE OF PAVEMENT OR SIDEWALK
---	(E) UNDERGROUND UTILITY- VERIFY
---	(E) UNDERGROUND UTILITY

OWNER APPROVAL:

ARCHITECT APPROVAL:

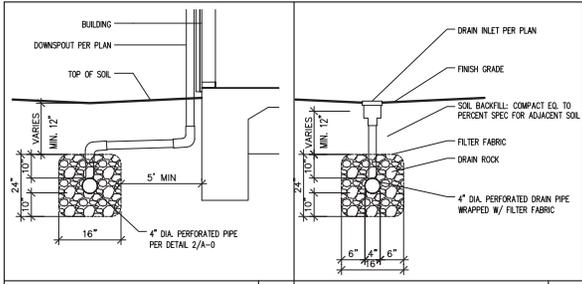
ISSUE DESCRIPTION **DATE**

A PLANNING SUBMIT 10.28.21
 B BUILDING SUBMIT 12.02.21

SITE PLAN & COVER

SCALE: 1"=10'-0"
 PROJECT #: 21-46

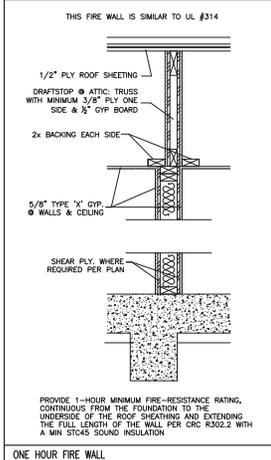
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DOWNSPOUT CONNECTION DETAIL 1 TRENCH DRAIN & INLET DETAIL 2

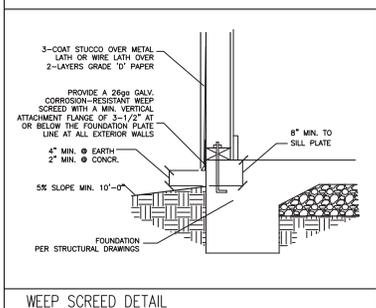
DRAINAGE CALCULATIONS

NEW IMPERMEABLE AREA $576 \text{ SF} / 1000 \times 107 = 61.6 \text{ CF}$ REQUIRED
 TRENCH SIZE: $61.6 \text{ CF} / 1.33' \text{ WIDE} / 2' \text{ DEEP} = 23 \text{ LINEAR FEET TOTAL}$

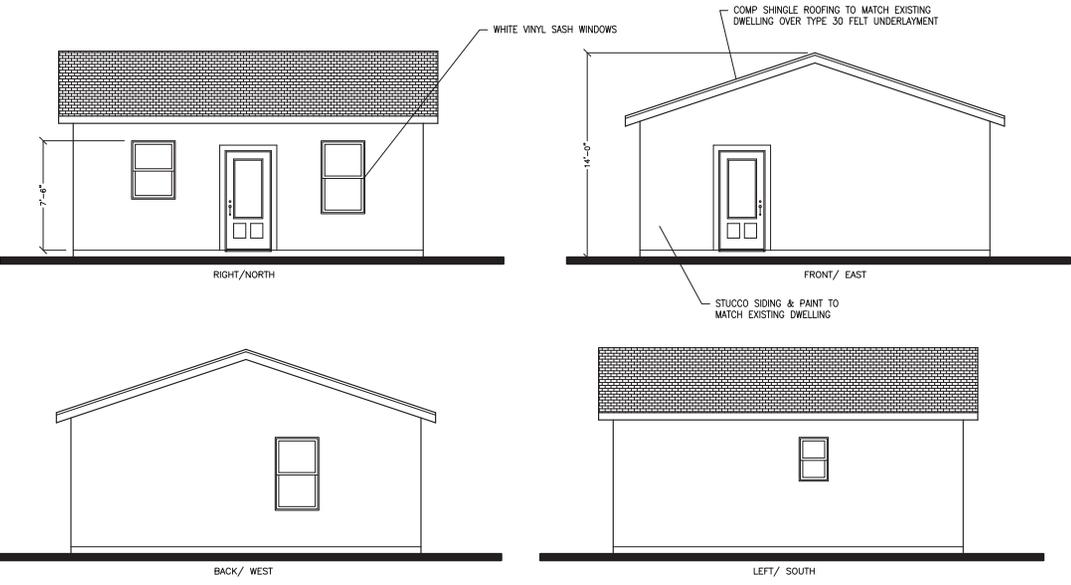
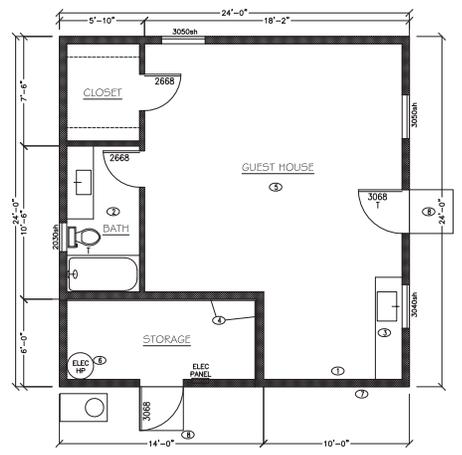
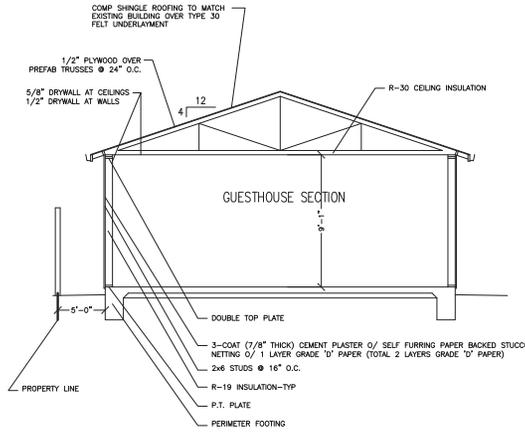


PROVIDE 1-HOUR MINIMUM FIRE-RESISTANCE RATING, CONTINUOUS FROM THE FOUNDATION TO THE UNDERSIDE OF THE ROOF SHEATHING AND EXTENDING THE FULL LENGTH OF THE WALL PER CRC #302.2 WITH A MIN STG45 SOUND INSULATION

ONE HOUR FIRE WALL



WEEP SCREED DETAIL



- KEY NOTES**
- 1 NEW 9' HIGH CEILING HEIGHT WALL
 - 2 NEW FULL BATHROOM WITH 30x60 TUB SHOWER, TOILET, VANITY
 - 3 NEW NET BAW WITH SINK, FAUCET, CABINET, QUARTER TOP, 4" SPLASH
 - 4 NEW 1 HOUR FIRE WALL FRAME IN ATTIC TO ROOF SHEETING & ONE LAYER DRYWALL & TAPE
 - 5 NEW VINYL PLANK FLOORING THROUGHOUT
 - 6 NEW 40 GALLON HEAT PUMP; WATER HEATERS SHALL BE ANCHORED OR STRAPPED TO RESIST HORIZONTAL DISPLACEMENT DUE TO SEISMIC MOTION. STRAPPING SHALL BE AT POINTS WITHIN THE UPPER ONE-THIRD (1/3) AND LOWER ONE-THIRD (1/3) OF ITS VERTICAL DIMENSIONS. AT THE LOWER POINT, A MINIMUM DISTANCE OF 4 INCHES SHALL BE MAINTAINED ABOVE THE CONTROLS WITH THE STRAPPING. (CFC 507.2)
 - 7 EXTERIOR WALLS & FIRE WALL - R-19 INSULATION
 - 8 3/4" MIN. x 3/8" MIN LEVEL LANDING @ EXTERIOR DOORS. DOORS SHALL BE PROVIDED WITH LANDINGS OR FLOORS NOT MORE THAN 7-3/4" BELOW THE TOP OF THE THRESHOLD.

AREAS

GUEST HOUSE:	495 SF
STORAGE:	81 SF
TOTAL:	576 SF

- LEGEND**
- 4" WALL W/ 2x6 STUDS @ 16" O.C. GYP BD. AS SPECIFIED
 - 6" WALL W/ 2x6 STUDS @ 16" O.C. GYP BD. AS SPECIFIED
 - T= TEMPERED SAFETY GLAZING REQUIRED PER CRC #308.4
 - SOFFIT WALL ABOVE

GUEST HOUSE
 2100 Santa Rosa Dr.
 Hollister, Ca

FOR:
 DEBRA DONES



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CONSULTANT:
 CONSULTANT:

DRAWN BY: J.M.G.
 CHECKED BY: J.M.G.

A.P.N.: 014-140-016

OWNER APPROVAL:

ARCHITECT APPROVAL:

ISSUE DESCRIPTION	DATE
A PLANNING SUBMIT	10.28.21
B BUILDING SUBMIT	12.02.21

SCALE: 1/4"=1'-0"
 PROJECT #: 21-36

FLOOR PLAN, ELEVATIONS, SECTION

A-1

ELECTRICAL NOTES

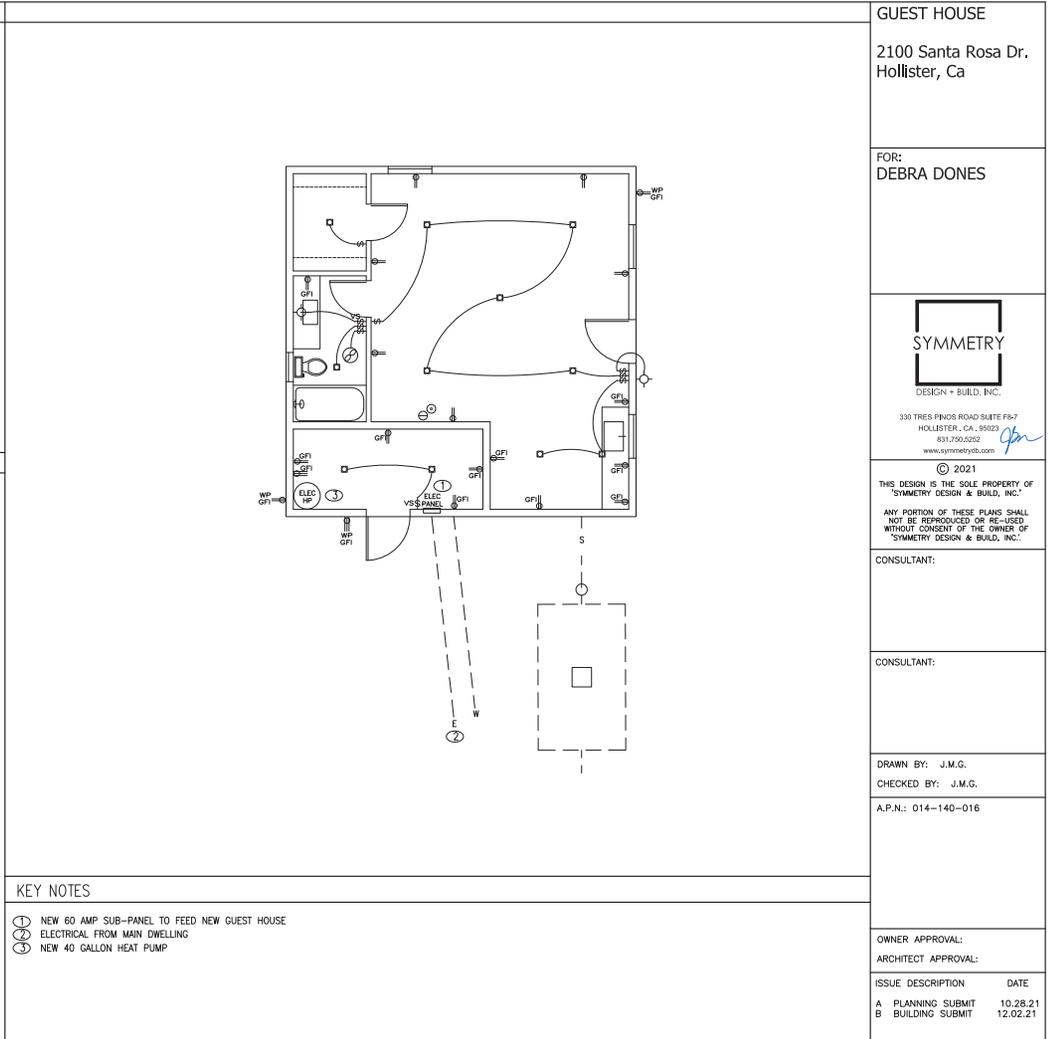
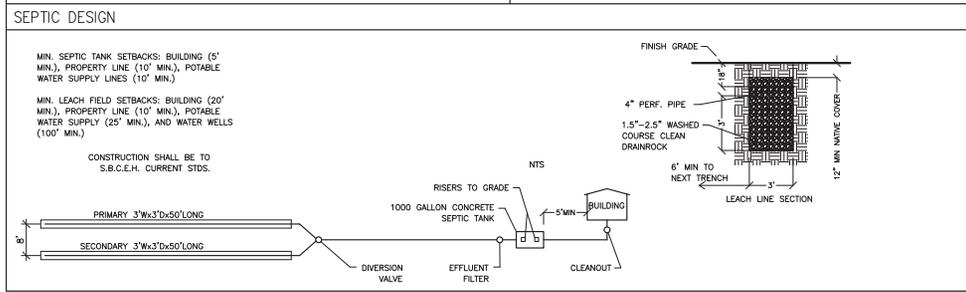
- Not Used
- PROVIDE AT LEAST ONE 20AMP BRANCH CIRCUIT FOR BATHROOM OUTLETS WITH NO ADDITIONAL OUTLETS OR LIGHTING FIXTURES CONNECTED. THE 20 AMP CIRCUIT MAY BE SHARED BY MORE THAN ONE BATHROOM. (CEC 210.11)
- ALL EXTERIOR RECEPTACLE OUTLETS TO BE GFCI+WP.
- INSTALL APPROPRIATELY SIZED BULBS IN ALL LIGHTING FIXTURES.
- RECEPTACLES INSTALLED IN WET LOCATIONS SHALL HAVE ENCLOSURE THAT IS WEATHERPROOF WHETHER OR NOT THE ATTACHMENT PLUG CAP IS INSERTED. "IN-USE" COVERS ARE REQUIRED.
- NM CABLE WITHIN ATTICS WITHOUT PERMANENT STAIRS OR LADDERS SHALL BE PROTECTED WITHIN 6" OF ATTIC ACCESS.
- NM CABLE SHALL BE SECURED BY STAMPED, CABLE TIES, STRAPS, HANGERS, OR SIMILAR FITTINGS DESIGNED AND INSTALLED SO AS NOT TO DAMAGE THE CABLE AT INTERVALS NOT EXCEEDING 4'-6" AND WITHIN 12" OF EVERY OUTLET BOX, JUNCTION BOX, CABINET, OR FITTING. FLAT CABLES SHALL NOT BE STAPLED ON EDGE.
- CARBON MONOXIDE ALARMS SHALL BE HARD WIRED WITH BATTERY BACKUP AND ALARMS SHALL BE INTERCONNECTED.
- LUMINAIRES RECESSED INTO ALL CEILINGS SHALL BE LISTED FOR ZERO CLEARANCE INSULATION CONTACT (C) BY UNDERWRITERS LABORATORIES OR OTHER NATIONALLY RECOGNIZED TESTING/RATING LABORATORY; AND HAVE A LABEL THAT CERTIFIES THE LUMINAIRE IS AIRTIGHT WITH AIR LEAKAGE LESS THAN 2.0 CCM AT 75 PASCAPALS WHEN TESTED IN ACCORDANCE WITH ASTM E283; AND BE SEALED WITH A GASKET OR CAULK BETWEEN THE LUMINAIRE HOUSING AND CEILING (CEC 150.4(13)).
- LUMINAIRES PROVIDING OUTDOOR LIGHTING, INCLUDING LIGHTING FOR PRIVATE PATIOS, ENTRANCES, BALCONIES, PORCHES, ETC., WHICH ARE PERMANENTLY MOUNTED TO A RESIDENTIAL BUILDING SHALL BE HIGH EFFICACY.
- ALL WALL SPACES, 2 FEET OR MORE IN WIDTH, SHALL HAVE RECEPTACLES INSTALLED SUCH THAT NO POINT MEASURED HORIZONTALLY IS MORE THAN 6 FEET FROM A RECEPTACLE (12 FOOT MAXIMUM SPACING).
- COUNTERTOPS IN WET BAR, SPACES 12 INCHES OR WIDER SHALL HAVE RECEPTACLES INSTALLED SUCH THAT NO POINT ALONG THE WALL IS MORE THAN 2 FEET FROM A RECEPTACLE.
- 125- AND 250-VOLT RECEPTACLES INSTALLED OUTDOORS IN A WET LOCATIONS SHALL HAVE AN ENCLOSURE THAT IS WEATHERPROOF WHETHER OR NOT THE ATTACHMENT PLUG CAP IS INSERTED.
- ALL BRANCH CIRCUITS THAT SUPPLY RECEPTACLES IN FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, DEN'S, BEDROOMS, RECREATION ROOMS, CLOSETS, HALLWAYS AND SIMILAR ROOMS OR AREAS SHALL BE PROTECTED BY A LISTED ARC-FAULT CIRCUIT INTERRUPTER (AFCI).
- ALL RECEPTACLES IN BATHROOMS, GARAGES, ACCESSORY BUILDINGS, OUTDOORS, WET BAR (WHERE RECEPTACLES SERVE COUNTER TOP SURFACES), IN LAUNDRY/UTILITY ROOMS, SHALL HAVE GROUND-FAULT CIRCUIT INTERRUPTER (GFCI) PROTECTION.
- RECEPTACLES ON 120-VOLT 15 & 20 AMP CIRCUITS SHALL BE LISTED AS TAMPER RESISTANT
- OUTLETS IN THE DWELLING/UTILITY SEPARATION WALL ARE INSTALLED BY A MINIMUM OF 24" OR USE A RATED BOX AT THESE LOCATIONS.
- IN WET BAR AREA, A RECEPTACLE OUTLET SHALL BE INSTALLED AT EACH COUNTER SPACE WIDER THAN 12" AND AT THE END OF COUNTER, LOCATED WITHIN THE TOP 12" OF THE COUNTER.
- WORKING CLEARANCES AROUND OR ADJACENT TO SUBPANELS OR SERVICE EQUIPMENT SHALL BE MAINTAINED PER CEC TABLE 110.26.
- INTER-SYSTEM BONDING IS REQUIRED FOR THIS RESIDENCE PER 2019 CEC 800.100(8).
- RECEPTACLES TO SERVE COUNTERTOP SURFACES SHALL BE SUPPLIED BY NOT FEWER THAN TWO SMALL APPLIANCE BRANCH CIRCUITS.
- PROVIDE A MINIMUM OF (1) WALL SWITCH CONTROLLED LIGHTING OUTLET IN EVERY HABITABLE ROOM, IN HALLWAYS, BATHROOMS, STAIRWAYS, ATTACHED GARAGES AND OUTDOOR ENTRANCES PER CEC 210.70
- LIGHTING IN STORAGE TO BE BOTH HIGH EFFICACY AND CONTROLLED BY A VACANCY SENSOR.
- ALL GARAGE/STORAGE RECEPTACLE OUTLETS INCLUDING GARAGE DOOR OPENER OUTLETS TO BE GFCI
- ALL LIGHTS THROUGHOUT THE BUILDING, INCLUDING THE STORAGE AND EXTERIOR, SHALL BE HIGH EFFICACY. [CEC 150.0(9)(1)]
- THAT OUTDOOR LIGHTS MUST BE HIGH EFFICACY AND CONTROLLED BY AN ASTRONOMICAL TIME CLOCK OR BY BOTH A MOTION SENSOR AND PHOTOCELL. [CEC 150.0(9)(3)]
- ALL RECESSED LIGHTS, LIKE THROUGHOUT THE MAIN GUEST HOUSE ROOM, MUST BE ON A DIMMER OR VACANCY SENSOR AND COMPLY WITH JAS-2016-E OR JAS-2018-E. [CEC TABLE 150.0-A #7]
- EXISTING 100 AMP METER & PANEL TO BE VERIFIED IF A 60 AMP SPARE CIRCUIT TO POWER 60 AMP GUESTHOUSE, OR REPLACE WITH 200 AMP PANEL

MECHANICAL NOTES

- PROVIDE A BATHROOM EXHAUST FAN DUCTED TO THE OUTSIDE (MIN. 4" DIA. FLEX DUCT WITH A MAXIMUM LENGTH OF 70') WITH A MINIMUM VENTILATION RATE OF 50 CFM FOR INTERMITTENT VENTILATION OR 20 CFM FOR CONTINUOUS VENTILATION.
 - FANS SHALL BE ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE OUTSIDE THE BUILDING.
 - BATHROOM EXHAUST FANS THAT ARE NOT OPERATING AS PART OF A WHOLE HOUSE FAN SHALL BE CONTROLLED BY A HUMIDISTAT WHICH SHALL BE READILY ACCESSIBLE. HUMIDISTAT CONTROLS SHALL BE CAPABLE OF ADJUSTMENT BETWEEN A RELATIVE HUMIDITY RANGE OF 50 TO 80 PERCENT
- SEDIMENT TRAPS TO BE PROVIDED DOWNSTREAM OF THE APPLIANCE SHUT-OFF VALVE AS CLOSE TO THE INLET OF THE APPLIANCE AS PRACTICABLE.
- SINGLE-WALL METAL PIPE SHALL NOT BE USED AS A VENT IN DWELLING AND RESIDENTIAL OCCUPANCIES PER CMC 802.7.4.1

PLUMBING NOTES

- INSULATE ALL HOT WATER SUPPLY LINES.
- INSTALL CONDENSATION LINE TO EXTERIOR OF HOME.
- INSTALL WATER HEATER SEISMIC STRAPS TO CODE.
- ALL HOSE BIBS SPOOTS TO HAVE BACKFLOW PREVENTERS.
- SHOWERS AND TUB/SHOWERS TO BE PROVIDED WITH THERMOSTATIC MIXING OR PRESSURE BALANCE VALVES PER 2019 CODE
- THE REDCIRCULATION SECTIONS OF DOMESTIC HOT WATER SYSTEMS MUST BE INSULATED (THE ENTIRE LENGTH OF PIPING, WHETHER BURIED OR EXPOSED).
- SHOWER COMPARTMENTS AND WALLS ABOVE BATHTUBS WITH INSTALLED SHOWER HEADS SHALL BE FINISHED WITH A SMOOTH, NONABSORBENT SURFACE TO A HEIGHT NOT LESS THAN 72 INCHES (6 FT)
- THE T & P RELIEF VALVE HAVING A FULL SIZED DRAIN OF GALV. STEEL OR HARD DRAWN COPPER SHALL DRAIN TO THE OUTSIDE OF THE BUILDING WITH THE END OF PIPE NOT MORE THAN 2' OR LESS THAN 6" ABOVE THE GRADE, POINTING DOWNWARD, THE TERMINAL END BEING UNTHREADED.
- THE MAXIMUM HOT WATER TEMPERATURE DISCHARGING FROM THE BATHTUB, SHOWER, AND WHIRLPOOL BATHTUB FILLER SHALL BE LIMITED TO 120 DEGREES FAHRENHEIT. THE WATER HEATER THERMOSTAT SHALL NOT BE CONSIDERED A CONTROL FOR MEETING THIS PROVISION.
- VENTING FOR ISLAND FIXTURES SHALL BE DESIGNED PER SECTION 909 OF THE 2019 CALIFORNIA PLUMBING CODE.
- EFFECTIVE JANUARY 1, 2020, THE STATE OF CALIFORNIA LEAD FREE PLUMBING LAW, HEALTH AND SAFETY CODE SECTION 116875 BECOMES EFFECTIVE. IN PART, THIS CODE SECTION STATES THAT NO PERSON SHALL USE ANY PIPE, PIPE OR PLUMBING FITTING OR FIXTURE, OR SOLDER OR FLUX THAT IS NOT LEAD FREE (0.25% LEAD) IN PLUMBING SYSTEMS CONVEYING POTABLE WATER FOR HUMAN CONSUMPTION (I.E. PIPING, FITTINGS AND FIXTURES TO/AT KITCHEN AND BATHROOM SINKS).
- CLEAN OUTS REQUIRED AT THE UPPER END OF EVERY DRAINAGE PIPE WITH THE FOLLOWING EXCEPTIONS:
 - HORIZONTAL BRANCHES LESS THAN 5' LONG, UNLESS THEY SERVE SINKS.
 - PIPES WHICH SLOPE 1/8 DEGREE OR MORE FROM THE HORIZONTAL
 - PIPES ABOVE FROST STORM.
 A CLEAN OUT IS REQUIRED EVERY 100' AND FOR EACH AGGREGATE CHANGE OF DIRECTION >135 DEGREES. CLEAN OUTS MUST BE ACCESSIBLE. CLEANOUTS FOR UNDERGROUND PIPES MUST BE EXTENDED TO GRADE.
- PEX FLUSH NOTE: IF PEX IS USED FOR WATER PIPING MATERIAL, AT THE TIME OF FILL EACH FIXTURE SHALL HAVE A REMOVABLE TAG APPLIED STATING: "THIS IS NEW PLUMBING SYSTEM WAS FIRST FILLED AND SLUSHED ON ____ (DATE) BY ____ (NAME). THE STATE OF CALIFORNIA REQUIRES THAT THE SYSTEM BE FLUSHED AFTER STANDING AT LEAST ONE WEEK AFTER THE FILL DATE SPECIFIED ABOVE. IF THIS SYSTEM IS USED EARLIER THAN ONE WEEK AFTER THE FILL DATE, THE WATER MUST BE ALLOWED TO RUN FOR AT LEAST TWO MINUTES PRIOR TO USE FOR HUMAN CONSUMPTION. THIS TAG MAY NOT BE REMOVED PRIOR TO THE COMPLETION OF THE REQUIRED SECOND FLUSHING, EXCEPT BY THE OWNER OR OCCUPANT PER CFC 604.1.2.



UTILITIES PLAN

SCALE: 1/4"=1'-0"

PROJECT #: 21-36

E-1

OWNER APPROVAL: _____

ARCHITECT APPROVAL: _____

ISSUE DESCRIPTION	DATE
A PLANNING SUBMIT	10.28.21
B BUILDING SUBMIT	12.02.21

SYMMETRY

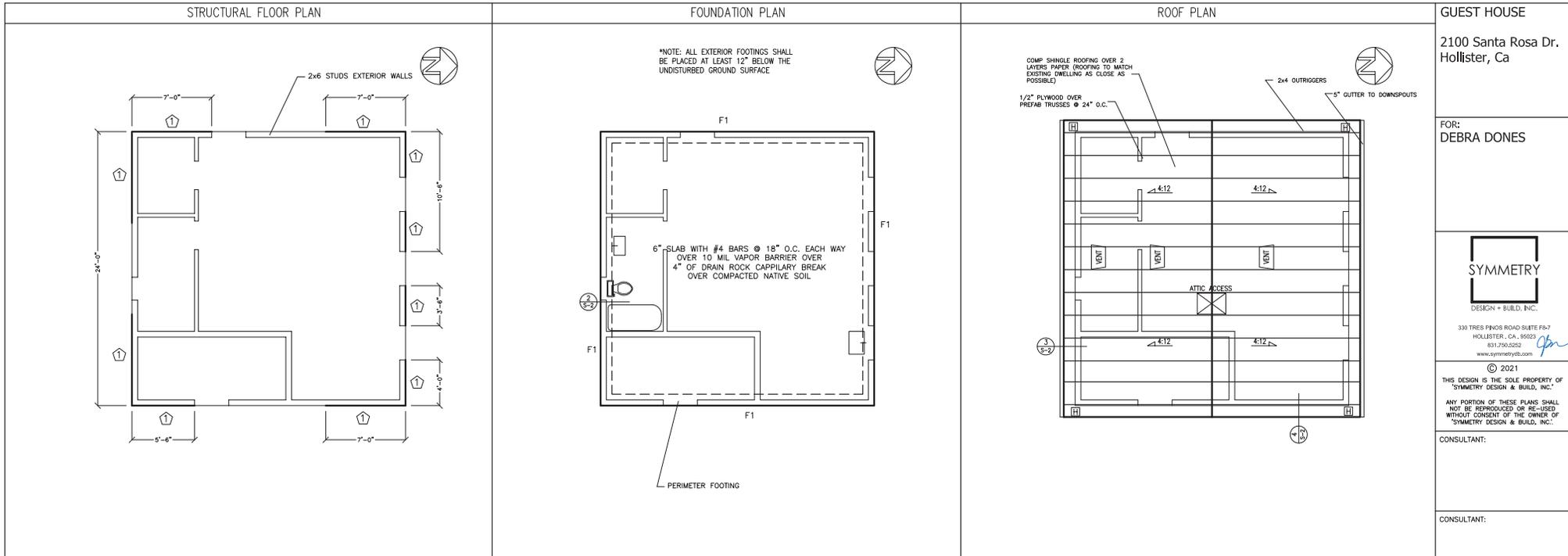
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GUEST HOUSE

2100 Santa Rosa Dr.
Hollister, Ca

FOR:
DEBRA DONES



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CONSULTANT:

CONSULTANT:

BRACED WALL SCHEDULE & NOTES

Sym	Wall Sheathing	Nailing		Sill		Sill Connection		Top Anchorage			
		E.N.	F.N.	Lwr	Upr	Anchor Bolts	Conc. & Masonry	Simpson MASA	Wood	A35 or LTP4	
1	15/32" Struct. 1 Plywood or 1/2" O.S.B.	6d @ 12" o.c.	6d @ 12" o.c.	2x	2x	3" Anchor Bolts	48" o.c.	Simpson MASA	2" SDS x 4.5" @ 18" o.c.	16" o.c.	24" o.c.

- All exterior wall to be secured with 1/2" DMM AB's at 72" o.c. with 7" embedment, unless otherwise noted.
- All interior walls with short studs, Rammed #3048, or equivalent, at 36" o.c. at bearing walls and 48" o.c. at non-bearing walls, unless otherwise noted.
- Code minimum (2) Anchor bolts per panel.
- Code minimum 16d sole plate nails at 16" o.c. typical at all second floor walls (u.o.n.)
- Where double 2x sole plates are used, provide progressive nailing.
- All 16d nails are common nails.
- Table for use with studs at 16" o.c. maximum.
- All lag bolts (LB) to be 8" long installed with pilot hole and wrench.
- 1/2" DMM AB may be replaced by 5/8" DMM Phillips Rodheads (or equivalent) at some spacing.
- Use 3x studs, and 3x bottom plate with staggered nailing.
- Where anchor material is installed on both sides, the spacing for the above top anchorage and sill connection shall be half shown unless otherwise noted on plans.
- (For IS) Panel joints must be offset to fall on different framing members or use 3x at panel edges.
- When top anchorage spacing is 4" or less stagger them on each side at twice the spacing shown.
- 3" and 4" spacing for SDS is staggered, 2" is done with 2 rows at 4" staggered.

HOLDOWNS & STRAPS

- HDU4-SDS2.5 SIMPSON HOLDDOWN TO (2) 2x STUDS MIN (U.O.N.) W/SSTB16 ANCHOR BOLT (U.O.N.) (USE SSTB24L IF 3x SILL PLATE REQD)
- CS BLOCK & CS16 STRAP 32" ON WIDTH OF SHEARWALL TO BOTH SIDES OF WINDOW AND TOP & BOTTOM.

DESIGN CRITERIA

ROOF LIVE LOAD: 20.0 PSF
ROOF DEAD LOAD: 20.0 PSF
WALL DEAD LOAD: 15.0 PSF
GROUND SNOW & ICE: NONE
BASIC WIND: 95 MPH
EXPOSURE CATEGORY: C
SEISMIC DESIGN CATEGORY: D
SOIL SITE CLASS: 4
IMPORTANCE FACTOR: 1
INTERNAL PRES. COEF: +/-0.18
OCCUPANCY: 2
SEISMIC STANDARD CONSTRUCTION
FOUNDATION BEARING= 1000 PSF (ASSUMED)

ATTIC VENTILATION

NOTE: AT LEAST HALF OF THE VENT AREA MUST BE IN THE UPPER HALF OF THE ATTIC SPACE AND AT LEAST HALF OF THE VENT AREA MUST BE IN THE LOWER HALF OF THE ATTIC SPACE TO USE THE REQUIRED VENT AREA BELOW

TOTAL VENT AREA REQUIRED (576 SF/300)	1.92 SF
EXHAUST (HIGH) VENT AREA REQUIRED (1.92 SF/2)	0.96 SF
14x30 GABLE END VENT (1.25 x 3)	0.00 SF
DORMER VENIS (50 SF each x 2)	1.00 SF
INTAKE (LOW) VENT AREA REQUIRED (1.92 SF/2)	0.96 SF
EAVE VENTS (.08 SF each x 12)	0.96 SF
DORMER VENIS (50 SF each x 1)	0.00 SF
TOTAL VENT AREA PROVIDED	1.96 SF

DORMER VENT - BRANDGUARD DORMER VENT # DV2041 (72 S.I.) or EQUAL
EAVE VENT - BLOCK W. 3 - 2" DIA. SCREENED HOLES

ROOF NOTES

- INSTALL G. I. GUTTER AND CONNECT TO DOWNSPOUTS & SPLASH BLOCKS.
- INSTALL 26 GAUGE G.I. FLASHING AT ALL ROOF RELATED AREAS AS REQ'D PER CBC.
- INSTALL G.I. MATERIAL ROOF JACKS AS REQ'D.
- ROOF COVERINGS MUST CONFORM TO THE CBC.
- ROOFING NAILS TO BE CORROSION RESISTANT.
- CONCRETE TILE OVER 30# ROOFING FELT OVER 1/2" CDX. or OSB SOLID PLYWOOD SHEATHING.
- ALL ROOFING TO BE CLASS 'C' MINIMUM.

LEGEND

- (2) H2.5A CLIPS BOTH ENDS OF DRAG TRUSS TO WALL

OWNER APPROVAL:
ARCHITECT APPROVAL:

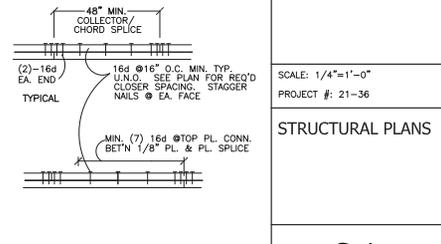
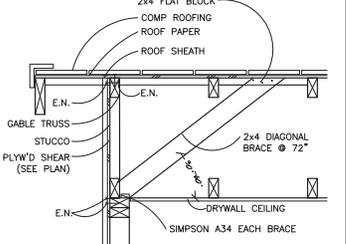
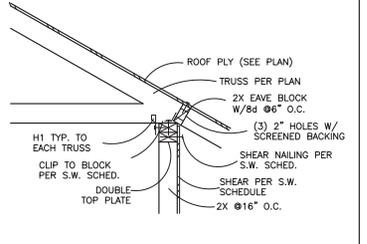
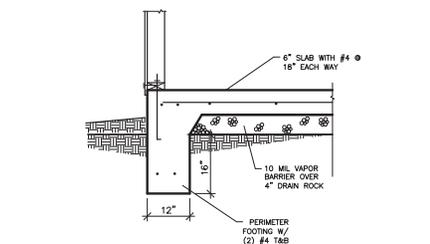
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B BUILDING SUBMIT	12.02.21

FOUNDATION NOTES

- SILL PLATE WASHERS MAY BE SLOTTED 3/16" LARGER THEN THE BOLT DIAMETER & A SLOT LENGTH NOT MORE THAN 1
- ALL PROPERTY LINES SHALL BE CLEARLY IDENTIFIED AT THE TIME OF FOUNDATION INSPECTION.
- ALL HOLDOWNS, SPECIAL ANCHOR BOLTING REQUIREMENTS AND STRAPS THAT ARE APPLICABLE TO THE BUILDING BE IN PLACE AT THE TIME OF FOUNDATION INSPECTION.
- CONCRETE TO BE MINIMUM 2500 PSI MIN IN 28 DAYS.
- VERIFY DIMENSIONS OF (E) WALLS AND FOUNDATION.
- RE-USE FORM BOARDS PER CAL GREEN BUILDING REQUIREMENT
- USE OSB FOR SUBFLOORS PER CAL GREEN BUILDING REQUIREMENT
- ALL BOLTS, HOLD DOWNS, NAILS THAT COME IN CONTACT WITH PRESSURE TREATED MATERIAL ARE TO BE GALVANIZED OR STAINLESS STEEL.

FOOTINGS

F1 12" WIDE x 24" DEEP CONT. FOOTINGS WITH (2) #4 BARS TOP & BOTTOM PER DETAILS SHEET 2/S-2



PERIMETER FOOTING & STEM WALL	2	EAVE DETAIL & SHEAR TRANSFER	3	GABLE END	4	TOP PLATE SPLICE	5
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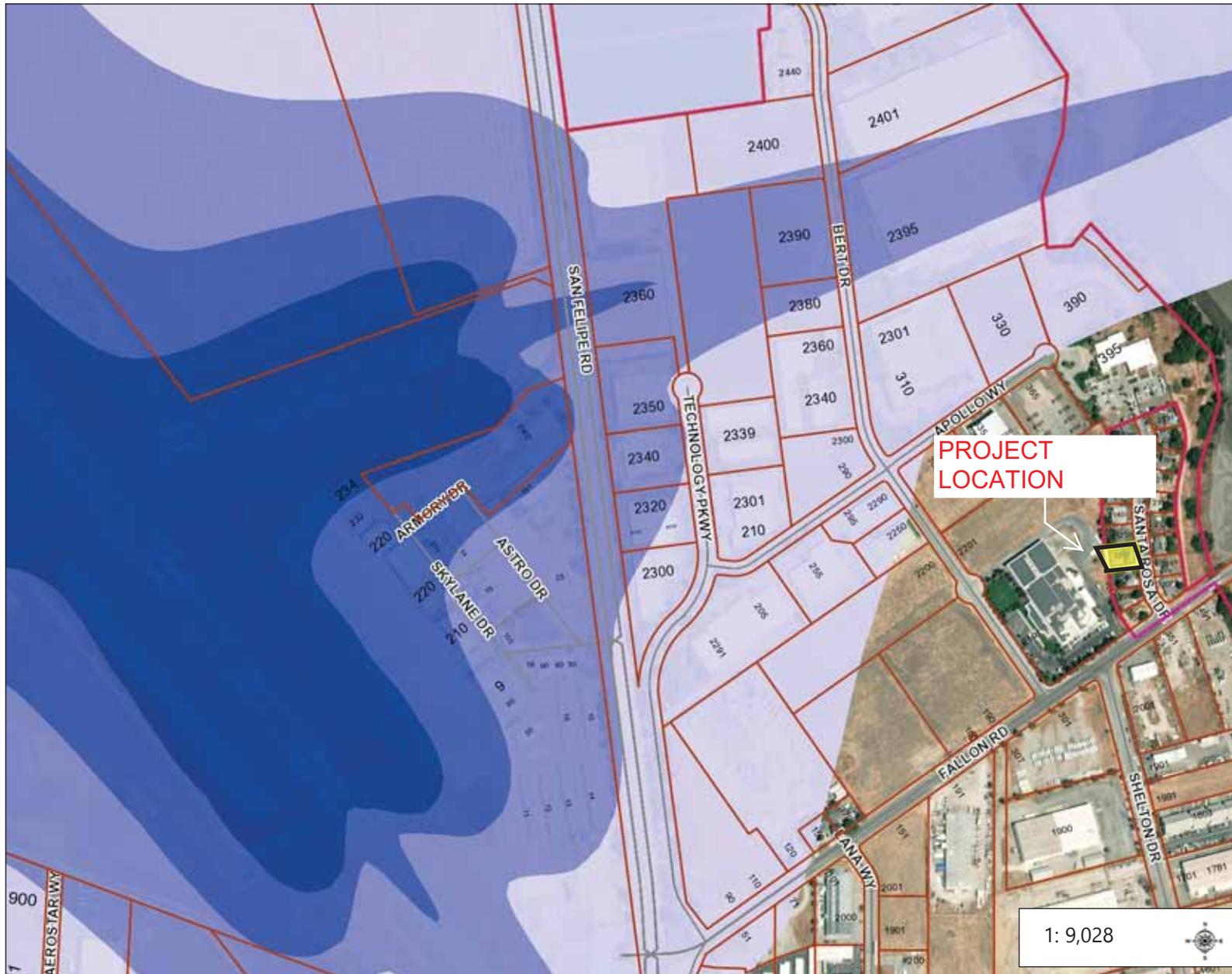
SCALE: 1/4"=1'-0"
PROJECT #: 21-36

STRUCTURAL PLANS

S-1



County of San Benito



Legend

- Parcels
- California County Boundaries
- <all other values>
- San Benito
- City Limit
- Tentative Subdivision
- SBC Approved Subdivisions
- Hollister Airport Noise Impact Z**
- 55 - 60 dB CNEL
- 60 - 65 dB CNEL
- 65 - 70 dB CNEL
- 70+ dB CNEL
- Tentative Streets
- Park

1: 9,028



1,504.7 0 752.33 1,504.7 Feet

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Notes



County of San Benito



Legend

- Parcels
- California County Boundaries
- <all other values>
- San Benito
- City Limit
- Tentative Subdivision
- SBC Approved Subdivisions
- Hollister Airport Runways
- Hollister Airport Safety Zones**
 - Runway Protection Zone
 - Inner Approach/Departure Zone
 - Inner Turning Zone
 - Outer Approach/Departure Zone
 - Sideline Zone
 - Traffic Pattern Zone
- Tentative Streets
- Park

PROJECT LOCATION

1: 9,028



1,504.7 0 752.33 1,504.7 Feet

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Notes

Usage Intensity Criteria ¹	Safety Zone						Additional Criteria
	1	2	3	4	5	6	
Max. Sitewide Average Intensity (people/acre) Max. Single-Acre Intensity (people/acre)	10 20	60 120	100 300	150 450	100 300	300 1,200	Numbers below indicate zone in which condition applies
Land Use Category ²	Land Use Acceptability (see page 2-49 for legend)						
<i>Outdoor Uses (limited or no activities in buildings)</i>							
Natural Land Areas: woods, brush lands, desert	Yellow	Green	Green	Green	Green	Green	1: Objects above runway elevation not allowed in Object Free Area (OFA) ³
Water: flood plains, wetlands, lakes, reservoirs ³	Yellow	Green	Green	Green	Green	Green	1: Objects above runway elevation not allowed in Object Free Area (OFA) ³
Agriculture (except residences and livestock): crops, orchards, vineyards, pasture, range land	Yellow	Green	Green	Green	Green	Green	1: Not allowed in Object Free Area (OFA) ³ All: Exercise caution with uses that attract birds and other wildlife
Livestock Uses: feed lots, stockyards, breeding, fish hatcheries, horse stables ³	Red	Green	Green	Green	Green	Green	All: Exercise caution with uses that attract birds and other wildlife
Outdoor Major Assembly Facilities (capacity ≥1,000 people): spectator-oriented outdoor stadiums, amphitheaters, fairgrounds, zoos ⁴	Red	Red	Red	Red	Red	Yellow	6: Allowed only if alternative site outside zone would not serve intended function
Group Recreation (limited spectator stands): athletic fields, water recreation facilities, picnic areas	Red	Red	Yellow	Green	Red	Green	3: Allowed only if alternative site outside zone would not serve intended function
Small/Non-Group Recreation: golf courses, tennis courts, shooting ranges ³	Red	Yellow	Green	Green	Red	Green	2: Allowed only if alternative site outside zone would not serve intended function and intensity criteria met
Local Parks: children-oriented neighborhood parks, playgrounds	Red	Red	Red	Red	Red	Green	
Camping: campgrounds, recreational vehicle/motor home parks	Red	Red	Yellow	Yellow	Red	Green	3,4: Allowed only if intensity criteria met
Cemeteries (except chapels)	Red	Green	Green	Green	Green	Green	
<i>Residential and Lodging Uses</i>							
Single-Family Residential (<8 du/ac) ⁵ : individual dwellings, townhouses, mobile homes, bed & breakfast inns, dormitories	Red	Yellow	Yellow	Yellow	Red	Yellow X	2: Max. density is 0.1 du/ac (≥ 10 acres) 3,4: Max. density is 0.2 du/ac (≥ 5 acres) 6: Intensity limits as indicated See Policy 3.3.5
Multi-Family Residential (≥8 du/ac) ⁵ : condominiums, apartments, agricultural-related housing	Red	Red	Red	Red	Red	Yellow	
Long-Term Lodging (>30 nights): extended-stay hotels, dormitories [approx. 200 s.f./person] ⁶	Red	Red	Red	Yellow	Yellow	Green	4,5: Allowed only if intensity criteria met
Short-Term Lodging (≤30 nights): hotels, motels, other transient lodging (except conference/assembly facilities) [approx. 200 s.f./person] ⁶	Red	Red	Yellow	Yellow	Yellow	Green	3, 4,5: Allowed only if intensity criteria met
Congregate Care: retirement homes, assisted living, nursing homes, intermediate care facilities	Red	Red	Red	Red	Red	Red	

Table 2

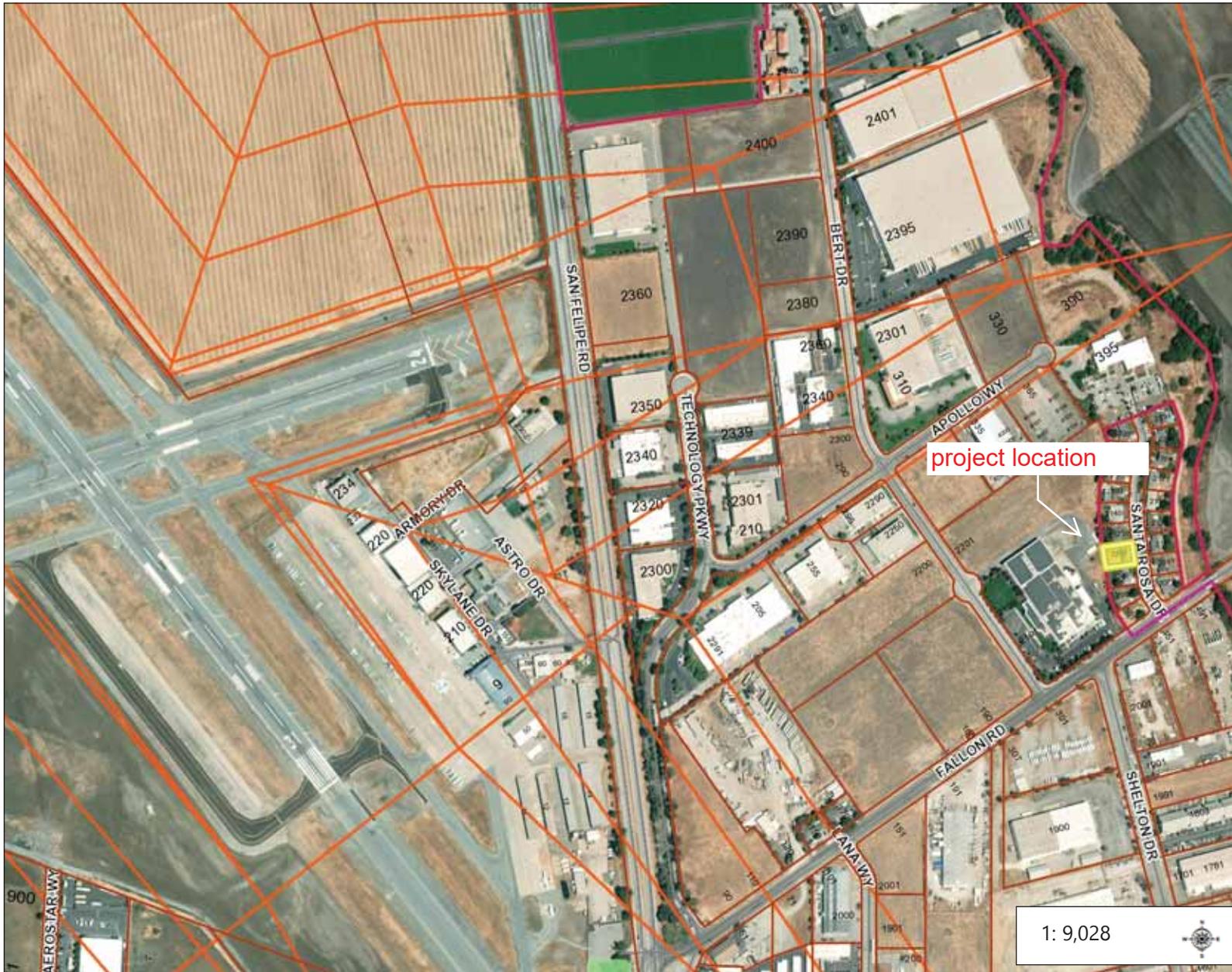
Safety Compatibility Criteria
Hollister Municipal Airport

Land Use	Acceptability	Interpretation/Comments
	<i>Normally Compatible</i>	Normal examples of the use are compatible under the presumption that usage criteria will be met. Atypical examples may require review to ensure compliance with usage intensity criteria. Noise, airspace protection, and/or overflight limitations may apply.
	<i>Conditional</i>	Use is compatible if indicated usage intensity limit and/or other listed conditions are met.
	<i>Incompatible</i>	Use should not be permitted under any circumstances.
<p>Notes</p> <p>¹ Usage intensity criteria applicable to all nonresidential development (i.e., Normally Compatible as well as Conditional land uses). Nonresidential development must satisfy both forms of intensity limits (see Policy 3.3.6). See Note 6 below and Policy 3.3.7 for information on how to calculate nonresidential intensity. Up to 10% of total floor area may be devoted to ancillary use (see Policy 3.3.6(c)).</p> <p>² Multiple land use categories and compatibility criteria may apply to a project. Land uses not specifically listed shall be evaluated using the criteria for similar uses.</p> <p>³ These uses may pose hazards to flight as they may attract birds or other wildlife; generate dust or other visual hazards; or create physical hazards (e.g., power lines or other tall objects). See <i>Section 3.4</i> for applicable airspace protection policies.</p> <p>⁴ Capacity of people for Large and Major Assembly Facilities obtained from International Building Code.</p> <p>⁵ Residential density limits provided in terms of dwelling units per acre (du/ac). Construction of a single-family home, including a second dwelling unit as defined by state law, allowed on a legal lot of record if such use is permitted by local land use regulations. A family day care home (serving ≤ 14 children) may be established in any dwelling. See <i>Policies 1.4.5</i> and <i>3.3.5(h)</i>.</p> <p>⁶ Common occupancy load factors (approximate number of square feet per person) source: Mead & Hunt, Inc. based upon information from various sources including building and fire codes, facility management industry sources, and ALUC surveys. The common occupancy load factors represent the maximum occupancy during a normal peak period occupancy, not on the highest attainable occupancy used in building and fire codes. Common occupancy load factors provided in the table for specific land uses may be used as a means of calculating the usage intensity of a proposed development. See Policy 3.3.7 for other methods of calculating usage intensities.</p>		

Table 2, continued



County of San Benito



Legend

- Parcels
- California County Boundaries
- <all other values>
- San Benito
- City Limit
- Tentative Subdivision
- SBC Approved Subdivisions
- Hollister Airspace Protection Zone
- Tentative Streets
- Park

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1,504.7 0 752.33 1,504.7 Feet

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Notes