



AGENDA REGULAR MEETING SAN BENITO COUNTY AIRPORT LAND USE COMMISSION

DATE: Thursday, January 15, 2015
3:00 P.M.

LOCATION: Board of Supervisors Chambers, 481 Fourth Street,
Hollister, CA 95023

COMMISSIONERS: Victor Gomez, Anthony Botelho, Jerry Muenzer,
Tony Boch, and Ignacio Velazquez
Alternates: San Benito County: Jaime De La Cruz;
City of Hollister: Pauline Valdivia; San Juan Bautista: Andy Moore

*Persons who wish to address the Board of Directors must complete a Speaker Card and give it to the Clerk prior to addressing the Board. Those who wish to address the Board on an agenda item will be heard when the Chairperson calls for comments from the audience. Following recognition, persons desiring to speak are requested to advance to the podium and state their name and address. After hearing audience comments, the Public Comment portion of the agenda item will be closed. **The opportunity to address the Board of Director's on items of interest not appearing on the agenda will be provided during Section D. Public Comment.***

3:00 P.M. CALL TO ORDER:

- A. ACKNOWLEDGE** Certificate of Posting
- B. ELECT** ALUC Chairperson for 2015
- C. ELECT** ALUC Vice Chairperson for 2015
- D. PUBLIC COMMENT:** (Opportunity to address the Board on items of interest not appearing on the agenda. No action may be taken unless provided by Govt. Code Sec. 54954.2. **Speakers are limited to 3 minutes.**)

CONSENT AGENDA

(These matters shall be considered as a whole and without discussion unless a particular item is removed from the Consent Agenda. Members of the public who wish to speak on a Consent Agenda item must submit a Speaker Card to the Clerk and wait for recognition from the Chairperson. Approval of a consent item means approval as recommended on the Staff Report.)

- 1. APPROVE** Airport Land Use Commission Draft Meeting Minutes Dated September 18, 2014 – Gomez
- 2. FIND** Site and Architectural Review Application No. 2014-15, Lana Way (APN No. 051–162-004) in the City of Hollister, **CONSISTENT** with the Hollister Municipal Airport Land Use Compatibility Plan – Lezama

Adjourn to ALUC Meeting on Thursday, February 19, 2015. Agenda Deadline is Tuesday, February 10, 2015 at 12:00 P.M.

In compliance with the Americans with Disabilities Act (ADA), if requested, the Agenda can be made available in appropriate alternative formats to persons with a disability. If an individual wishes to request an alternative agenda format, please contact the Clerk of the Council four (4) days prior to the meeting at (831) 637-7665. The Council of Governments Board of Directors meeting facility is accessible to persons with disabilities. If you need special assistance to participate in this meeting, please contact the Clerk of the Council's office at (831) 637-7665 at least 48 hours before the meeting to enable the Council of Governments to make reasonable arrangements to ensure accessibility.

**San Benito County
AIRPORT LAND USE COMMISSION
REGULAR MEETING**

September 18, 2014 3:00 P.M.

DRAFT MINUTES

MEMBERS PRESENT:

Chair Gomez, Director Boch, Director Botelho, Director Muenzer, and Director Velazquez

STAFF PRESENT:

Deputy County Counsel, Shirley Murphy; Interim Executive Director, Mary Gilbert; Administrative Services Specialist, Kathy Postigo; Transportation Planner, Veronica Lezama; Transportation Planner, Betty LiOwen; Secretary, Monica Gomez

CALL TO ORDER:

Chair Gomez called the meeting to order at 4:34 P.M.

A. Acknowledge Certificate of Posting

Upon a motion duly made by Director Muenzer, and seconded by Director Boch, the Directors unanimously approved the Certificate of Posting.

B. Public Comment: None

CONSENT AGENDA:

- 1. Approve** Airport Land Use Commission Draft Meeting Minutes dated May 15, 2014 – Gomez
- 2. Find** Site and Architectural Review Application No. 2014-9, Located at 1901 San Felipe Road, APN No. 051-120-068 -069, in the City of Hollister, **Consistent** with the 2012 Hollister Municipal Airport Land Use Compatibility Plan – Lezama

Upon a motion duly made by Director Botelho, and seconded by Director Muenzer, the Directors approved Items 1 and 2 from the Consent Agenda, with an abstention from Director Velazquez on Item 1.

Vote: 4/0/1 motion passes.

Upon a motion duly made by Director Muenzer, and seconded by Director Boch, the Directors adjourned the ALUC Meeting at 4:34 p.m.

ADJOURN TO ALUC MEETING THURSDAY, OCTOBER 16, 2014.



Staff Report

To: San Benito County Airport Land Use Commission
From: Veronica Lezama, Transportation Planner Telephone: (831) 637-7665
Date: January 15, 2015
Subject: Land Use Consistency Determination

Recommendation:

FIND Site and Architectural Review Application No. 2014-15, Lana Way (APN No. 051-162-004) in the City of Hollister, **CONSISTENT** with the Hollister Municipal Airport Land Use Compatibility Plan.

Summary:

Application No. 2014-15 was reviewed in accordance with the 2012 Hollister Municipal Airport Land Use Compatibility Plan. The application has been determined consistent with the Plan

Financial Considerations:

The Airport Land Use Commission (ALUC) adopted a fee structure in 2013 for the purpose of recovering costs for conducting ALUC project reviews. The ALUC application fee consists of a minimum \$300 non-refundable fee that is submitted at the time the application is filed with the Airport Land Use Commission. The applicant has been invoiced for the application fee.

Background:

In 2012, the San Benito County Airport Land Use Commission adopted the Hollister Municipal Airport Land Use Compatibility Plan (ALUCP). The purpose of the Compatibility Plan is to protect public health, safety, and welfare by ensuring the orderly expansion of airports and the adoption of land use measures that minimize the public's exposure to excessive noise and safety hazards. The proposed development project was reviewed in accordance with the Compatibility Plan.

Staff Analysis:

The San Benito County Airport Land Use Commission received an application for the proposed construction of two structures to be located on Lana Way (APN 051-162-004) in the City of Hollister (Attachment 1). Specifically, the applicant is proposing a 4,000 square

foot warehouse building and a 560 square foot steel framed shelter on a 1.47 acre site (Attachment 2).

The project was reviewed in accordance with the 2012 Hollister Municipal Airport Land Use Compatibility Plan. In the course of a project review, the Airport Land Use Commission considers a number of factors including Noise, Safety, Airspace Protection, and Overflight. An analysis of each of the compatibility factors is further discussed below.

Noise

The Hollister Municipal Airport Land Use Compatibility Plan's Noise Policy objective is to avoid establishment of noise-sensitive land uses in the portions of airport environs that are exposed to significant levels of aircraft noise. The proposed use is Indoor Storage and not a noise sensitive use; as such, there are no noise concerns.

Safety

The Hollister Municipal Airport Land Use Compatibility Plan's Safety Policy objective is to minimize the risks associated with an off-airport aircraft accident or emergency landing. The policy focuses on reducing the potential consequences of such events by limiting the type of uses (i.e schools, residential densities, ect). This policy is defined in terms of the geographic distribution of where accidents are most likely to occur based on the six safety zones (1-6).

The storage buildings are proposed within Safety Zones 3 (Attachment 3). According to Table 2: Safety Compatibility Criteria (Attachment 4), the proposed use (Indoor Storage) is "Normally Compatible" within Safety Zone 3. The proposed use is therefore permitted within Safety Zone 3.

In addition, Table 2: Safety Compatibility Criteria sets limits on the number of people allowed in a single acre (Maximum Sitewide Average Intensity) and within the most intense part of the project/building which is referred to as the Maximum Single-Acre Intensity (Attachment 5). The applicant is proposing no employees and therefore consistent with the Safety Compatibility Criteria.

Overflight

The Hollister Municipal Airport Land Use Compatibility Plan's Overflight Compatibility Policy is intended to help notify people, via Real Estate Disclosures, about the presence of aircraft overflight near airports so that they can make informed decisions regarding acquisition or lease of property in the affected areas. Overflight compatibility is particularly important with regard to residential land uses. The Overflight Policy is only applicable to residential/sensitive uses; as such, there are no overflight concerns associated with the proposed project.

Airspace Protection

The Hollister Municipal Airport Land Use Compatibility Plan's Airspace Protection Policy seeks to prevent creation of land use features that can be hazards to the airspace required by aircraft in flight and have the potential for causing an aircraft accident to occur. Such hazards may be the height of physical structures, hazardous wildlife attractants, or electronic interference.

Height:

The project is proposed within the FAR Part 77 Transitional Surface which lies within the Airspace Protection Zone (Attachment 5). The Federal Aviation Regulations (FAR) Part 77, Objects Affecting Navigable Airspace establish standards for determining obstructions to navigable airspace and the effects of such obstructions on the safe and efficient use of that airspace.

The maximum height of the storage buildings would be a maximum of 19'-5," as such; the proposed height is consistent with the limits acceptable by the Hollister Municipal Airport Land Use Compatibility Plan and Federal Aviation Regulations (FAR) Part 77, Objects Affecting Navigable Airspace.

Hazardous Wildlife Attractants:

The project will include a bio retention swale with the maximum depth of 18." The FAA developed Advisory Circular 150/5200 – 33B, which provides guidance on certain land uses that have the potential to attract hazardous wildlife on or near public-use airports. The Advisory Circular recommends that airport operators avoid standing water and encourage swale in the bottom of water facilities to prevent vegetation that may provide nesting habitat. The maximum depth of the swale is shallow, as such; there are no compatibility concerns.

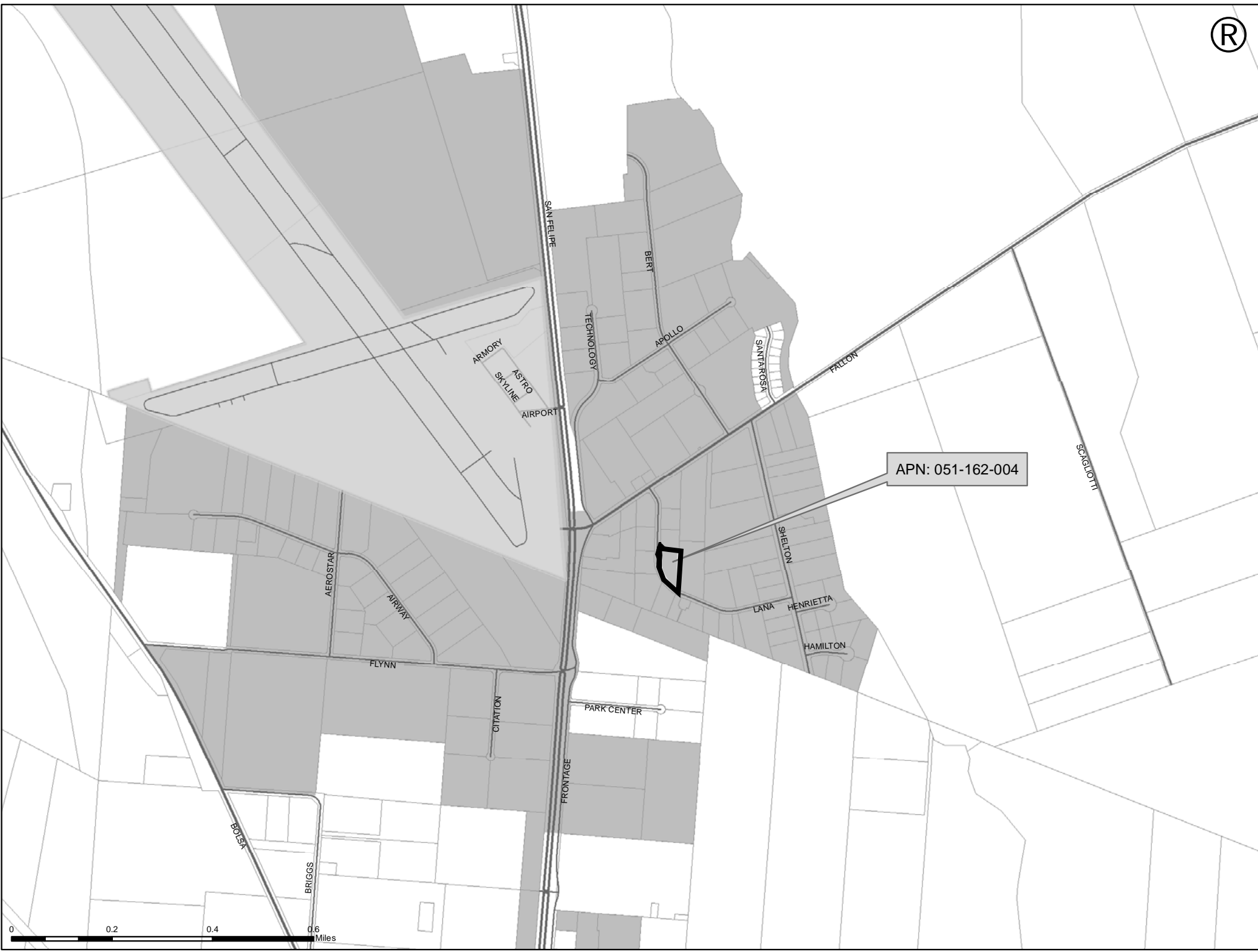
The proposed project is also proposing landscaping which include: Crape Myrtle, California Sycamore, Dwarf Blue Lily of the Nile and Escallonia. The proposed landscape does not pose any capability concerns.

Executive Director Review: _____

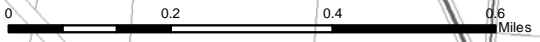
Counsel Review: N/A

Supporting Attachment(s):

1. Project Location
2. Site Map
3. Safety Zone 3
4. Table 2: Safety Zone Compatibility Guidelines
5. Airspace Protection Zone, Transitional Surface

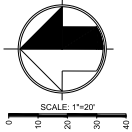


APN: 051-162-004



APN 051-162-005
Lot 6, 9 M 31
Small
Use: XXXX

Water Meter
Fire Hydrant
Street Light



APN 051-162-003
Lot 3, 9 M 31
McDermott
Use: 1000

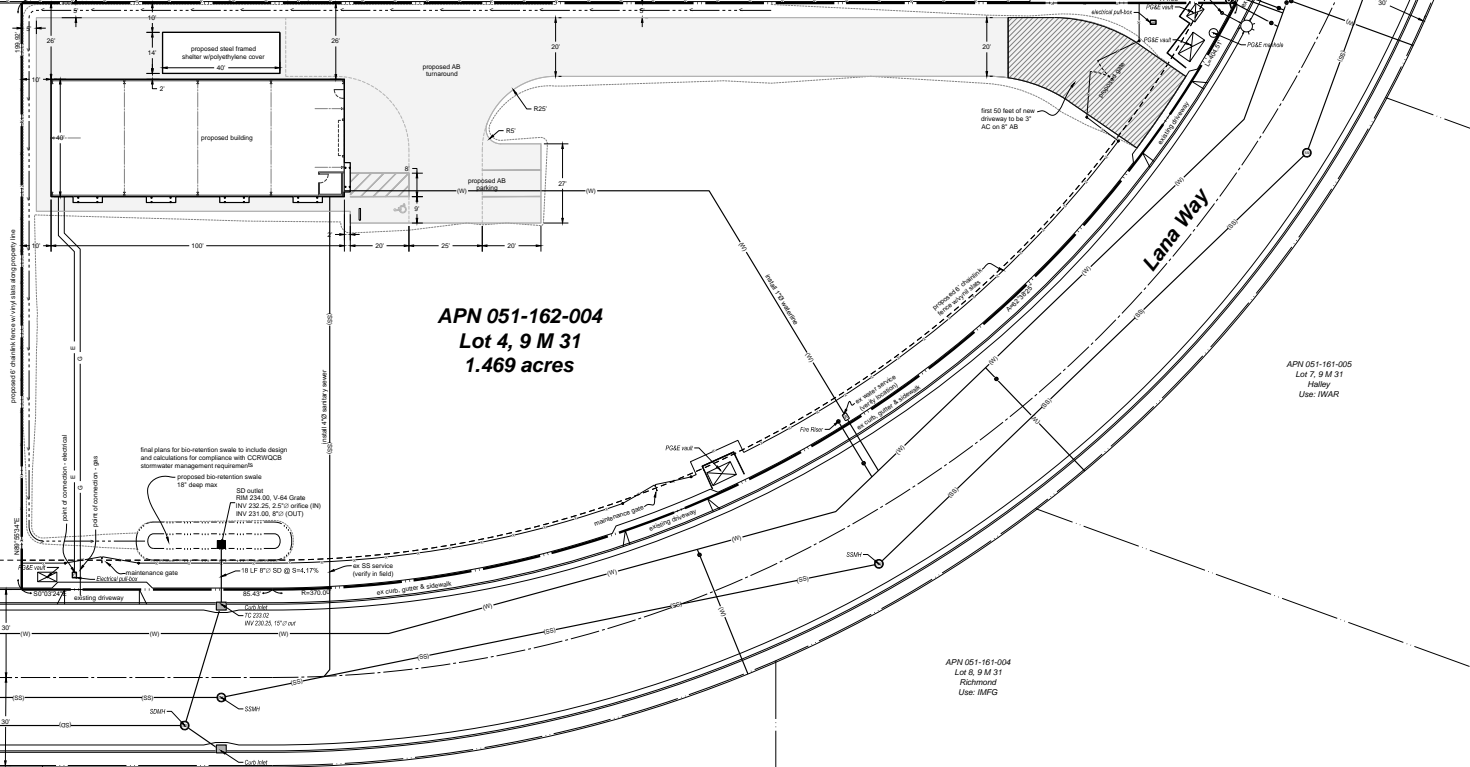
APN 051-162-004
Lot 4, 9 M 31
1.469 acres

APN 051-161-005
Lot 7, 9 M 31
Holley
Use: IWAR

APN 051-161-004
Lot 8, 9 M 31
Richmond
Use: IMPG

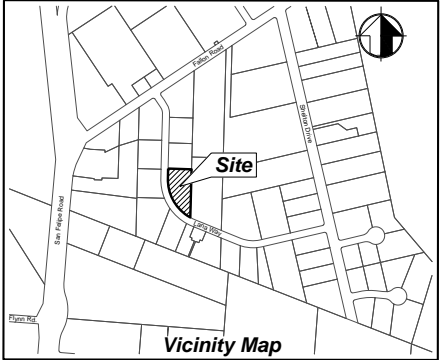
Lana Way

Lana Way



APN 051-161-002
Lot 10, 9 M 31
Redmond Trucking
Use: IREP

APN 051-161-003
Lot 9, 9 M 31
Redmond Trucking
Use: XXXX



Applicant/Owner:
Harvey & Rose Bryan
3765 Seventh Street
Hollister, CA 95023
531.637.4906
hrobertson@att.net

Engineer:
Allen Andrade RCE 58384
MH Engineering
16075 Vitayard Blvd.
Morgan Hill, CA 95037
408.779.7381
allene@mhengineering.com

Architect:
Hubo Architectural Services
601 McCray Street, Suite 202
Hollister, CA 95023
531.636.0449
hubo@hubo.com

Project Data:
Advertiser's Parcel Number: 051-162-004
Project Site Location: Lana Way
Parcel Size: 1.469 acres
Zoning Designation: M-1
General Plan Designation: Industrial
Current Land Use: 1000 - vacant
Proposed Structure Sizes:
4,000 sf storage building
560 sf steel framed shelter
Existing Structures: none on site
Proposed Lot coverage: 4560/63975= 7.1%
Number of Dwelling units: none
Existing Parking Spaces: none
Proposed Parking Spaces: 3 + 1 ADA
Percent Landscaping on site: 1.3%
100 sf - arbors @ building
550 sf - along Lana west of driveway
3,555 sf - long Lana east of driveway
700 sf - bio-retention swale
2,350 sf - vegetated swales along P.U.
7,255 sf - total landscape area
7,255 sf / 63,975 sf = 11.3%
Percent Open Space on site: N/A

Occupancy: S-2
Type of Construction: V-B
of stories: one
Automatic Fire Sprinklers: no
Seismic Zone: This project does not lie within a special studies zone according to the State of California Special Studies Zone Map, San Felipe Quadrangle, effective 1/1/1982. The Calaveras Fault lies approximately 1 mile west of the project site.

Flood Zone: This project lies within Flood Zone AO (Depth 18). All proposed buildings are elevated so that the finish flood is above the base flood elevation.

Project Description:
New construction of a 4,000 square foot enclosed commercial storage building and steel framed shelter within an industrial zone and Shelton Business Park in Hollister, CA. The proposed storage building is a manufactured metal system.

Sheet Index:
1. Title Sheet and Site Plan
2. Building Floor Plan
3. Building Elevations
4. Building Elevations
5. Grading & Drainage Plan
6. Landscape Plan

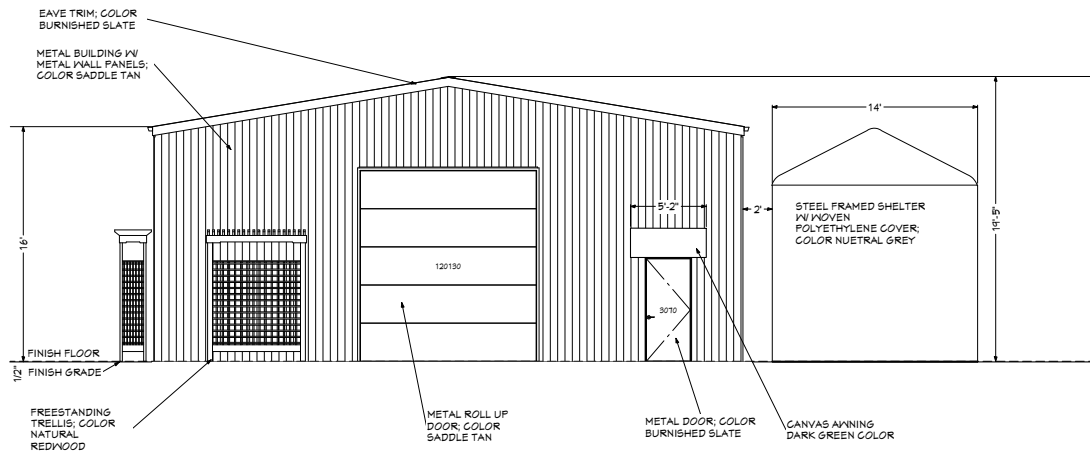
FILED
DATE: 07/09/2011
SCALE: 1"=20'
DRAWN BY: GED
CHECKED BY: RB

APPROVED BY: [Signature]
SUPERVISED BY: [Signature]

MH engineering Co.
16075 Vitayard Boulevard
Morgan Hill, CA 95037

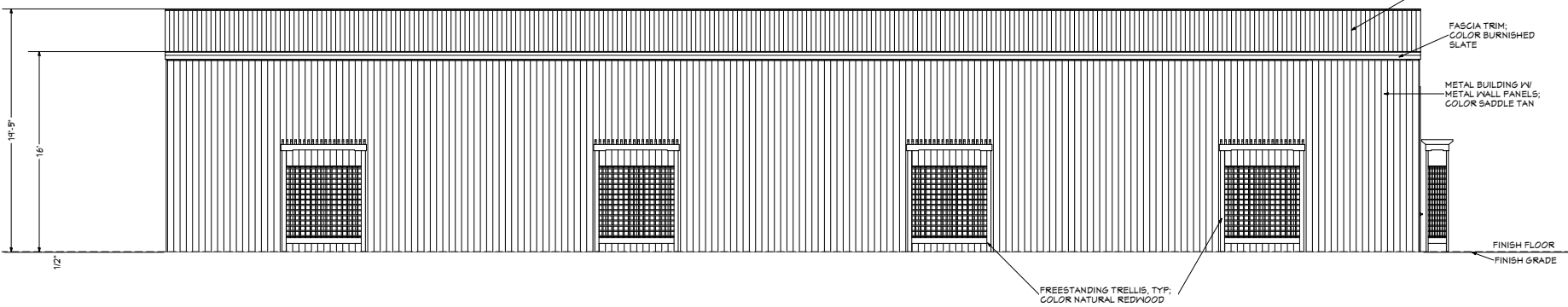
Title Sheet & Site Plan
Bryan - Lana Way, Hollister - APN 051-162-004

JOB NO. 24061
SHEET 1 OF 6



SOUTH ELEVATION

SCALE: 1/4" = 1'-0"



WEST ELEVATION

SCALE: 1/4" = 1'-0"

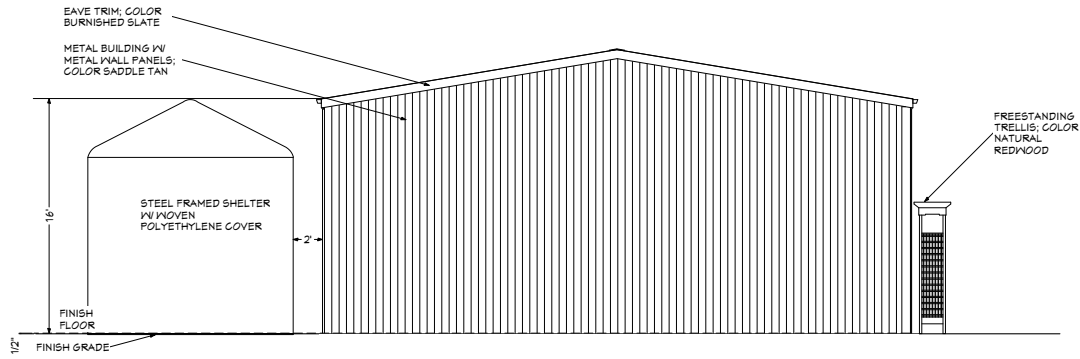
REVISIONS	BY

HARVEY & ROSE BRYAN
 NEW STORAGE BUILDING
 Lana Way, Hollister - APN 051-162-004

601 McGray St., Suite 202, Hollister, CA 95033
 (408) 938-9494 FAX (408) 938-9443
 JAN 11/13/14 04:04

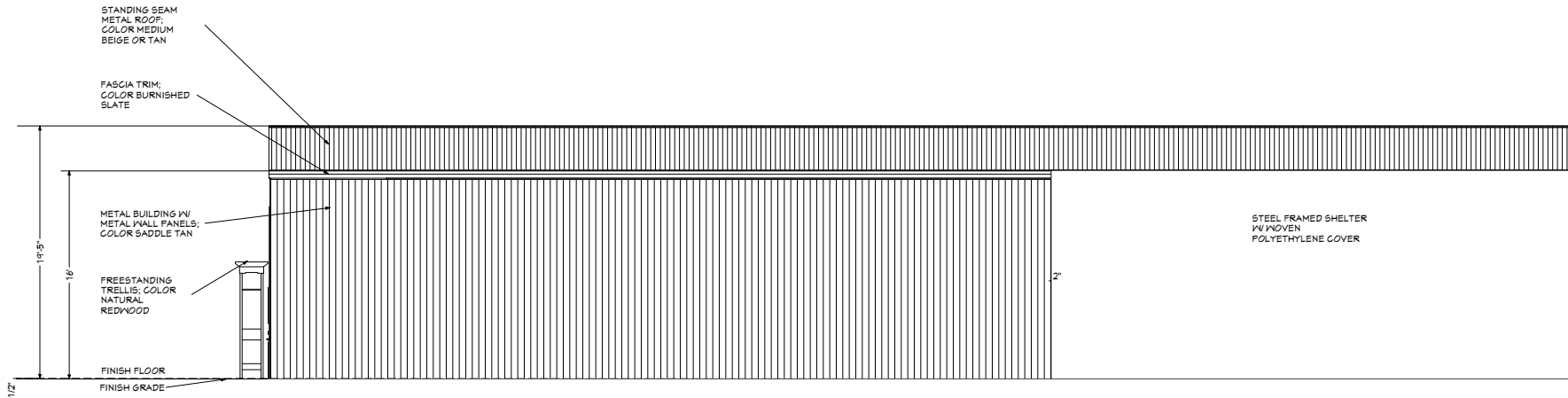
HUBOI
 ARCHITECTURAL SERVICES
 Architecture • Interiors • Commercial • Residential

DATE	11/13/14
SCALE	AS SHOWN
DRAWN	RLH
JOB #	14719
SHEET	3
OF	6 SHEETS



NORTH ELEVATION

SCALE: 1/4" = 1'-0"



EAST ELEVATION

SCALE: 1/4" = 1'-0"

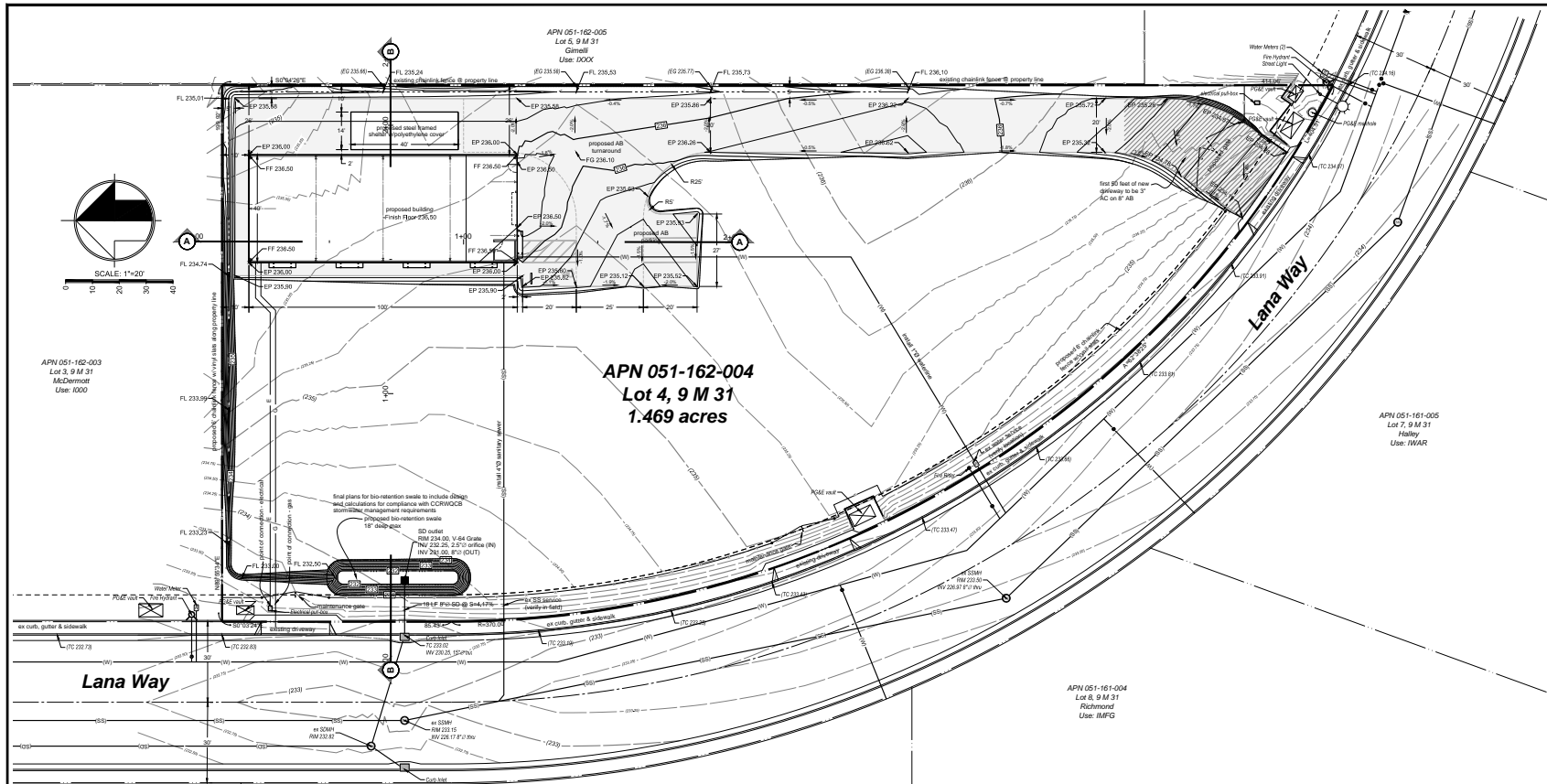
REVISIONS	BY

HARVEY & ROSE BRYAN
 NEW STORAGE BUILDING
 Lana Way, Hollister - APN 051-162-004

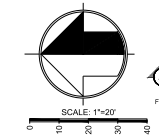
601 McGray St., Suite 202, Hollister, CA 95023
 (408) 938-9494 FAX (408) 938-8843

HUBOI
 ARCHITECTURAL SERVICES
 Architecture • Interiors • Commercial • Residential

DATE	11/13/14
SCALE	AS SHOWN
DRAWN	RLH
JOB #	14719
SHEET	4
OF	6 SHEETS



- Grading & Drainage Notes:**
- Preliminary Grading Quantities**
 19,950 sf = total disturbed area
 2' = maximum depth of cut
 0.75' = maximum depth of fill
 281 cy = total project cut
 90 cy = total project fill
 13.5 cy = 15% shrinkage
 177 cy = excess
 - Since disturbed area is less than 1 acre a SWPPP is not required. However, final plans shall include an erosion control plan which will include stormwater BMPs per CASCQA.
 - Permanent stormwater management for this project is provided by the bio-retention swale which includes no-mow grass for filtration, scarified base and sides to promote infiltration, sedimentation trap and a water quality outlet for oil separation and meeting the peak outflow in compliance with the City of Hollister requirements.
 - All construction shall be to the City of Hollister Standards.



APN 051-162-003
 Lot 3, 9 M 31
 McDermott
 Use: I000

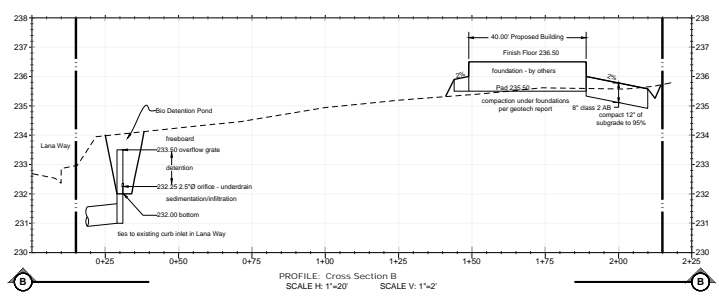
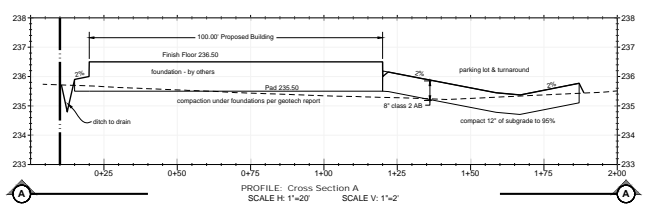
APN 051-162-004
 Lot 4, 9 M 31
 1.469 acres

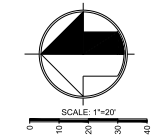
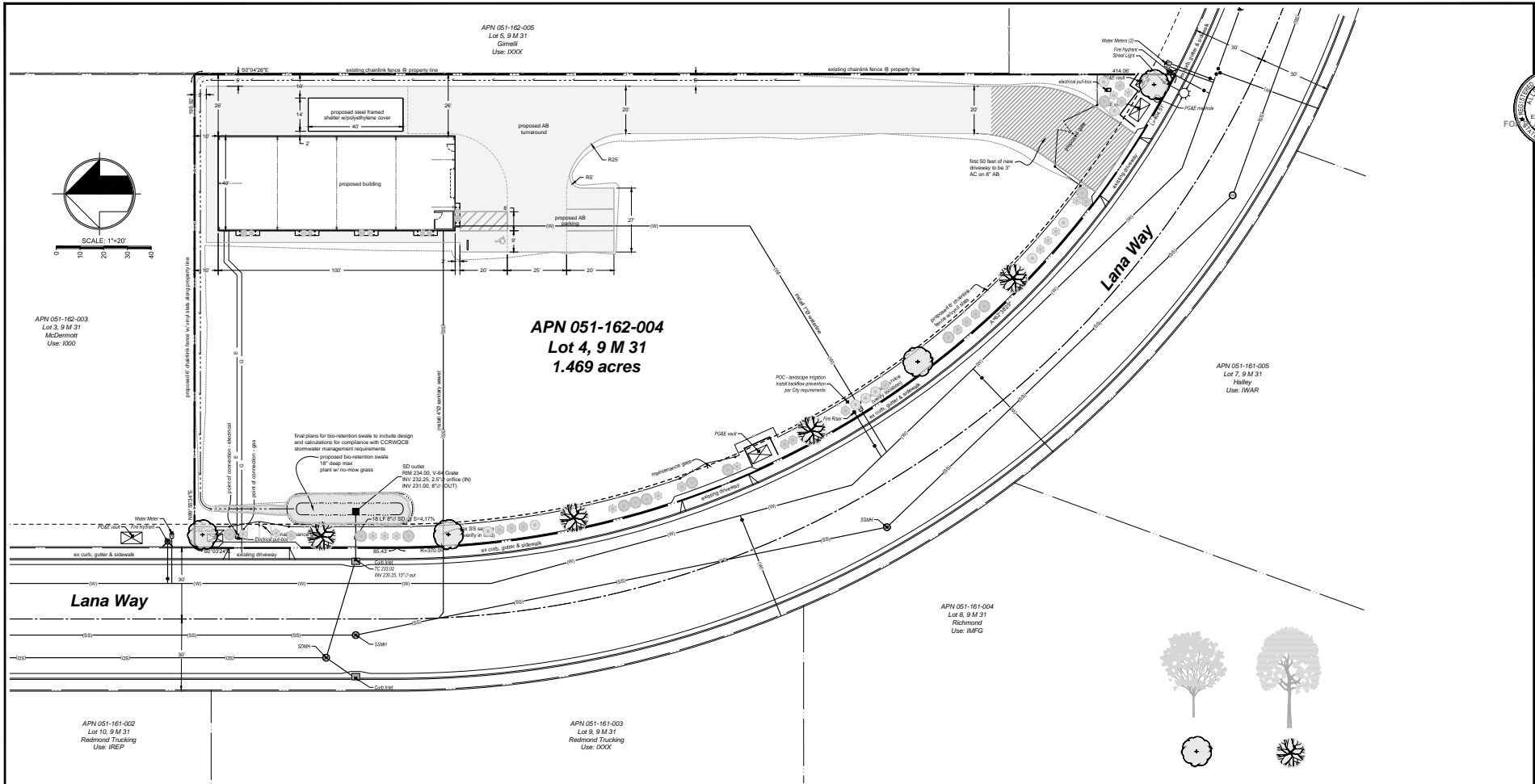
APN 051-161-005
 Lot 7, 9 M 31
 Hollister
 Use: IWAR

APN 051-161-004
 Lot 8, 9 M 31
 Richmond
 Use: IMPG

APN 051-161-002
 Lot 10, 9 M 31
 Redmond Trucking
 Use: IREP

APN 051-161-003
 Lot 9, 9 M 31
 Redmond Trucking
 Use: I000K





APN 051-162-003
Lot 3, 9 M 31
McDemott
Use: I000

APN 051-162-005
Lot 5, 9 M 31
Simell
Use: I00X

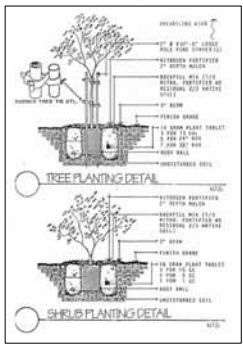
APN 051-162-004
Lot 4, 9 M 31
1.469 acres

APN 051-161-005
Lot 7, 9 M 31
Hobby
Use: IWAR

APN 051-161-004
Lot 8, 9 M 31
Richmond
Use: IMPG

APN 051-161-002
Lot 10, 9 M 31
Redmond Trucking
Use: IREP

APN 051-161-003
Lot 9, 9 M 31
Redmond Trucking
Use: I00X



Irrigation Legend:

Symbol	Description
POC	Water Point of Connection at existing Backflow Preventer
Not shown	Main Line, Sch. 40 PVC w/18" cover (all 11/4")
Not shown	Polyethylene Line 1/2" Dia. Locate between valves and plant material Staple line under bark mulch at 24" spacing. Elec. Globe Valve, Handle #700-1FC (1") Add to this valve: Amaid, 3/4" #39-0 150 mesh, and Pressure Regulator, Irindelo PR-20-L (0.1 to 8gpm, 20psi)
Emitter	Rainbird Xeri-Bag 1GPH 1/2" tubing with spike and bag caps
Not shown	1 per 1sq. 2per 5sq.
Not shown	ET Controller, Weathermatic SL1610 (1.2 Zones minimum) with SLW10, on site weather monitor, www.weathermatic.com . Verify with owner location.

- Planting Notes:**
- Plan is diagrammatic only. All local governing codes shall be met. Exact location of shrubs/trees shall be determined in the field (install as per details). This plan is not a survey, verify all distances.
 - Owners and Maintenance personnel of said project shall own and understand the following books:
 - Western Garden Book by Sunset
 - Water-Conserving Plants & Landscapes for the Bay Area by ESM/ID
In Morgan Hill both books are available through Bookmat (may need to be ordered 778-6467)
 - All areas shall have 100% coverage with an automatic low flow irrigation system.
 - Contractor shall advise Landscape Architect or Owners representative (in writing) of all substitutions a minimum of two weeks prior to the onset of demolition and/or construction.
 - Upon completion remove all extraneous material and debris, sweep and wash the area clean.
 - Landscape Contractor is responsible for notifying Landscape Architect, a minimum of 48 hours in advance, for the following site observations and/or meetings:
 - Preconstruction meeting with all parties.
 - Plant material on site, prior to installation.
 - Open trench, main line (with valves attached) pressure test.
 - Final project walk through.
 - Damages: Contractor shall promptly repair all damages to existing site at no cost to owner.
 - Install all plant material as per details and soil & plant lab report. (See note 12.) Information in soil & plant lab report shall prevail over details. All planting areas shall be cultivated to a depth as noted in soil and plant lab report, with removal of all debris, rocks and weeds exceeding 1" diameter. Import topsoil shall be added where required. Such soil shall be friable.
 - A minimum of two working days before performing any digging, call underground service alert at 1-800-227-2600 for information on the location of natural gas lines, electric cables, etc. It's free and it's the law.

- Mulch all planting areas with a two inch depth of pea size nitrogen stabilized bark (shredded size on slopes).
- A smooth transition between finish grade, sidewalk and headers shall be required prior to planting. All plant area grades and plant material shall be approved by the Landscape Architect or Owner representative prior to any plant installation. Call 24 hours prior to any work and after all material is on site. Install pue mesh (as per manufacturers recommendations) on all slopes at and exceeding 4:1.
- Landscape contractor shall deliver 1/2 gallon of typical soil from site to Soil & Plant Lab, Inc., 1101 S. Winchester Blvd, Suite G - 173, San Jose, CA 95128, CA. Test #A05 (\$200, verify fee at 408-727-0330, allow 15 bus. days) shall be run and lab shall send copy of results to Landscape Architect prior to beginning construction. Contractor shall pay for test and shall follow all recommendations. Contractor shall submit a delivery receipt of all amendments installed, within 48 hours to Landscape Architect.
- Final grades shall allow for surface flow away from structures and off property as per code. An additional drainage system may be added (verify).
- Contractor shall coordinate all work with other trades (ie. paving, plumbing, electrical, etc.).
- Contractor shall verify locations of all existing trees to remain. All precautions shall be taken to protect existing trees from damage during construction.
- All planted areas shall be maintained for a period of sixty days following final written acceptance by landscape architect. Contractor shall guarantee all trees and shrubs for a period of one year following end of maintenance period.
- Contractor agrees that in accordance with generally accepted construction practices, contractor will be required to assume sole and complete responsibility for job site conditions during the course of construction of the project, including safety of all persons and property, that this requirement shall be made to apply continuously and shall not be limited to normal working hours, and contractor further agrees to defend, indemnify and hold harmless from any and all liability, real or alleged, in connection with the performance of work on this project, excepting liability arising from the sole negligence of the design professional.

Plant List:

Symbol	Botanical Name	Common Name	Size	Total
LT	Lagerstroemia speciosa	Cape Myrtle Coral Pink	10gc	4
PR	Plantanus racemosa	California Sycamore	10gc	4
Shrub				
AA	Agaveparth A.	Dwarf Blue Lily of the Nile	1gc	15
EF	Escallonia Frades I	Escallonia	1gc	18
RC	Rhaphiolepis I. Clara	Indian Hawthorn	1gc	11
RE	Rhaphiolepis I.	Enhancee Indian Hawthorn	1gc	16

Landscape Irrigation watering schedule

Low Water Use (Clay Loam) (Drip: 1.0 Gall/Hour)

Start Times/week	1	2	2	2	2	2	2	2	1	1
Jan										
Feb										
Mar										
Apr										
May										
Jun										
Jul										
Aug										
Sept										
Oct										
Nov										
Dec										
Hours per week	4	4	6	7	8	10	10	8	6	4

Specific Notes

- Plant native emphasis option (S B33-5C), as utilized.
- All of irrigation hydrozones are low water use.
- Irrigation water source shall be provided by owner at POC noted.
- Provide 1 gallon per hour emitters to all plants. 1 per 1gc and 2 per 5gc.
- Provide city approved backflow preventer and weather station type irrigation controller.
- Soil preparation (see Plant Note 12)
- I have complied with the criteria of the City of Hollister Water Conservation in Landscaping Ordinance and applied them for the efficient use of water in the landscape design plan.

FILE
PROJECT
DATE: 12/10/2011
SCALE: 1"=20'
DRAWN BY: [Signature]
CHECKED BY: [Signature]
APPROVED BY: [Signature]

PROFESSIONAL SEAL
C58384
EXP. 12/31/2014
LANCHESHI
FOUNDRY

APN 051-162-004
Lot 4, 9 M 31
1.469 acres

APN 051-161-004
Lot 8, 9 M 31
Richmond
Use: IMPG

APN 051-161-002
Lot 10, 9 M 31
Redmond Trucking
Use: IREP

APN 051-161-003
Lot 9, 9 M 31
Redmond Trucking
Use: I00X

APN 051-162-005
Lot 5, 9 M 31
Simell
Use: I00X

APN 051-161-005
Lot 7, 9 M 31
Hobby
Use: IWAR

MH engineering Co.
1875 Vineyard Boulevard
Morgan Hill, CA 95027

Landscape Plan
Bryan - Lana Way, Hollister - APN 051-162-004

JOB NO. 214061
SHEET 6 OF 6



APN: 051-162-004

- Future Property
- Hollister City L
- Hollister Spher
- Hollister Plann
- Existing Runw
- Future Runwa
- Roads
- Railroads
- Rivers

Safety Zones

- No Project Sa
- Proposed Pro

Composite S

- Zone 1 - Runw
- Zone 2 - Inner
- Zone 3 - Inner
- Zone 4 - Outer
- Zone 5 - Sidel
- Zone 6 - Traffic
- Object Free Ar

Notes

1. Safety zone sou Planning Handbook
2. No Project safety configuration. Runway Runway; Runway 6
3. Proposed Project configuration. Runway Runway; Runway 6
4. Zone 1 adjusted depicted on the Sim for planning purpos

**Hollister
Land U**

6

F

Usage Intensity Criteria ¹	Safety Zone						Additional Criteria
	1	2	3	4	5	6	
Max. Sitewide Average Intensity (people/acre) Max. Single-Acre Intensity (people/acre)	10 20	60 120	100 300	150 450	100 300	300 1,200	Numbers below indicate zone in which condition applies
Land Use Category ²	Land Use Acceptability (see page 2-49 for legend)						
Eating/Drinking Establishments: restaurants, fast-food dining, bars [approx. 60 s.f./person] ⁶							2-5: Intensity limits as indicated
Limited Retail/Wholesale: furniture, automobiles, heavy equipment, lumber yards, nurseries [approx. 250 s.f./person] ⁶							2, 5: Intensity limits as indicated; design site to place parking inside and bldgs outside of zone if possible
Offices: professional services, doctors, finance, civic; radio, television & recording studios, office space associated with other listed uses [approx. 215 s.f./person] ⁶							2-5: Intensity limits as indicated
Personal & Miscellaneous Services: barbers, car washes, print shops [approx. 200 s.f./person] ⁶							2-5: Intensity limits as indicated
Vehicle Fueling: gas stations and fueling facilities at trucking & transportation terminals							5: Allowed only if airport serving
<i>Industrial, Manufacturing, and Storage Uses</i>							
Hazardous Materials Production: oil refineries, chemical plants							3-6: Allowed only if alternative site outside zone would not serve intended function; Fire Marshal to determine if special design features should be incorporated into structure to withstand damage from aircraft collision; exercise caution with uses creating plumes and other airspace hazards ³
Heavy Industrial							2-5: Avoid bulk production/storage of hazardous (flammable, explosive, corrosive, or toxic) materials; permitting agencies to evaluate possible need for special measures to minimize hazards if struck by aircraft
Light Industrial, High Intensity: food products preparation, electronic equipment [approx. 200 s.f./person] ⁶							2-5: Intensity limits as indicated; avoid bulk production/storage of hazardous (flammable, explosive, corrosive, or toxic) materials; permitting agencies to evaluate possible need for special measures to minimize hazards if struck by aircraft
Light Industrial, Low Intensity: machine shops, wood products, auto repair [approx. 350 s.f./person] ⁶							2 - 4: Intensity limits as indicated 5: Single story only; max. 10% in mezzanine 2-5: Avoid bulk production/storage of hazardous (flammable, explosive, corrosive, or toxic) materials; permitting agencies to evaluate possible need for special measures to minimize hazards if struck by aircraft
Indoor Storage: wholesale sales, warehouses, mini/other indoor storage, barns, greenhouses [approx. 1,000 s.f./person] ⁶			X				2: Single story only; max. 10% in mezzanine

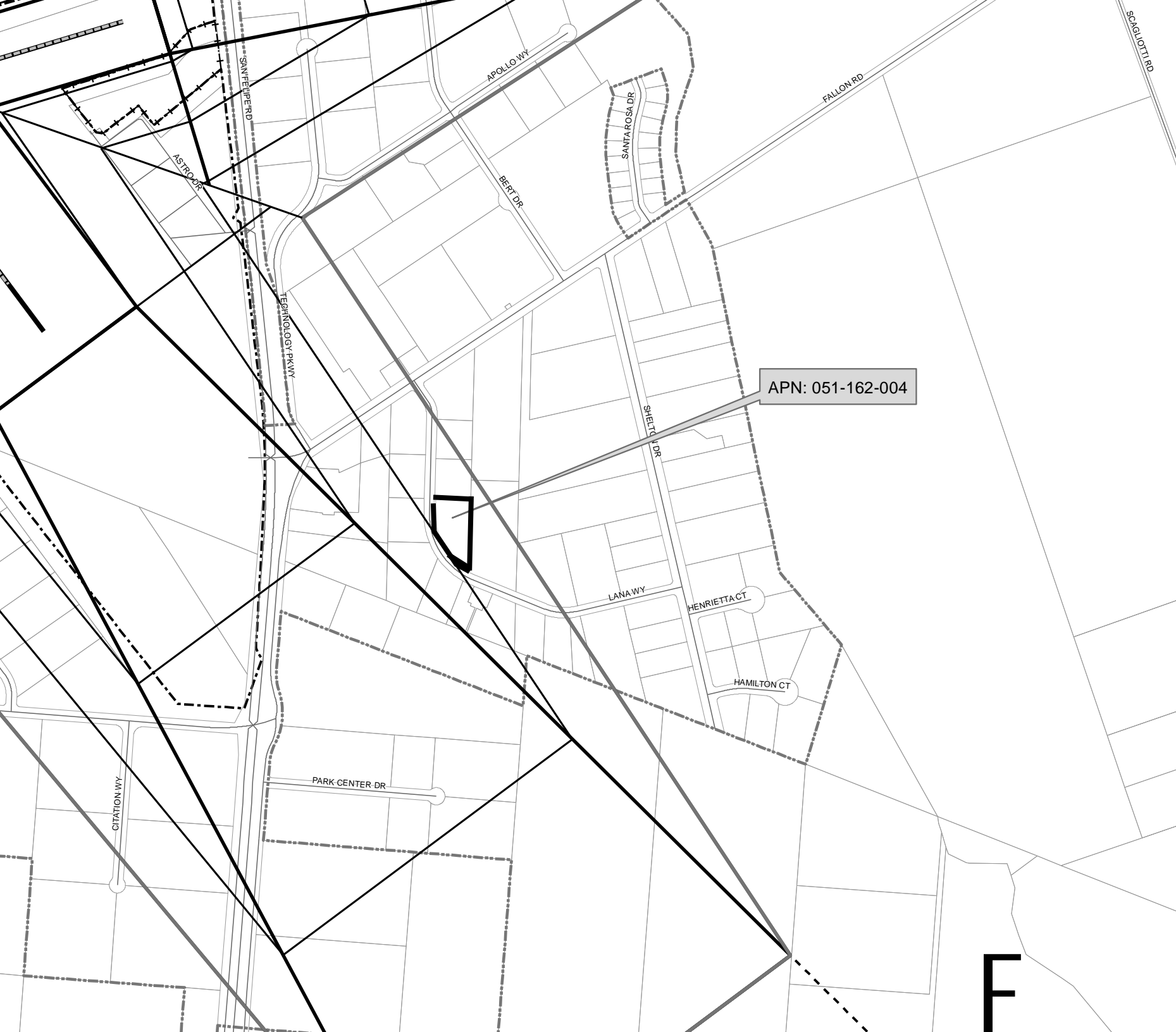
Table 2, continued

Land Use Acceptability		Interpretation/Comments
	<i>Normally Compatible</i>	Normal examples of the use are compatible under the presumption that usage criteria will be met. Atypical examples may require review to ensure compliance with usage intensity criteria. Noise, airspace protection, and/or overflight limitations may apply.
	<i>Conditional</i>	Use is compatible if indicated usage intensity limit and/or other listed conditions are met.
	<i>Incompatible</i>	Use should not be permitted under any circumstances.

Notes

- ¹ Usage intensity criteria applicable to all nonresidential development (i.e., Normally Compatible as well as Conditional land uses). Nonresidential development must satisfy both forms of intensity limits (see Policy 3.3.6). See Note 6 below and Policy 3.3.7 for information on how to calculate nonresidential intensity. Up to 10% of total floor area may be devoted to ancillary use (see Policy 3.3.6(c)).
- ² Multiple land use categories and compatibility criteria may apply to a project. Land uses not specifically listed shall be evaluated using the criteria for similar uses.
- ³ These uses may pose hazards to flight as they may attract birds or other wildlife; generate dust or other visual hazards; or create physical hazards (e.g., power lines or other tall objects). See *Section 3.4* for applicable airspace protection policies.
- ⁴ Capacity of people for Large and Major Assembly Facilities obtained from International Building Code.
- ⁵ Residential density limits provided in terms of dwelling units per acre (du/ac). Construction of a single-family home, including a second dwelling unit as defined by state law, allowed on a legal lot of record if such use is permitted by local land use regulations. A family day care home (serving ≤ 14 children) may be established in any dwelling. See *Policies 1.4.5* and *3.3.5(h)*.
- ⁶ Common occupancy load factors (approximate number of square feet per person) source: Mead & Hunt, Inc. based upon information from various sources including building and fire codes, facility management industry sources, and ALUC surveys. The common occupancy load factors represent the maximum occupancy during a normal peak period occupancy, not on the highest attainable occupancy used in building and fire codes. Common occupancy load factors provided in the table for specific land uses may be used as a means of calculating the usage intensity of a proposed development. See Policy 3.3.7 for other methods of calculating usage intensities.

Table 2, continued



- Future Property
- Hollister City Li
- Hollister Spher
- Hollister Planni
- Existing Runwa
- Future Runway
- Roads
- Railroads
- Parcels
- Rivers

Policy Bounda

- Airport Influen
- Airspace Protec
- Critical Airspac
- FAA Height No

Notes

1. The Airspace P accordance with F the future runway I for all runways exc the existing runway approach type are surface are genera airspaces surfaces and approach type
2. The Critical Airs encompasses the portions of the app where these surfac surface.
3. The FAA Height accordance with F

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